



OROVILLE PLANNING COMMISSION

Council Chambers
1735 Montgomery Street
Oroville, CA. 95965

NOTICE OF CONTINUATION OF THE PLANNING COMMISSION MEETING OF MARCH 26, 2020 TO APRIL 23, 2020 AT 6:00PM

NOTICE IS HERE BY GIVEN that the Oroville Planning Commission will continue their meeting from March 26, 2020 to April 23, 2020 at 6pm due to COVID-19 and the Governors social distancing requirements.

Posted By: Jackie Glover, Assistant City Clerk
Post Date: March 23, 2020 at 2:30pm

ATTENTION

COVID-19 Update: With the Governor's Declaration of Emergency for the State of California (Executive Order N-25-20), the Oroville City Council and the Planning Commission requests the help of the public in preventing the spread of the coronavirus and COVID-19. In light of the social distancing requirements limiting groups to 10 people or less the council chambers will remain closed to the public for the foreseeable future.

Please see below for options on how to access the Planning Commission Meeting

1. Watch our live feed
<https://www.youtube.com/channel/UCAoRW34swYI85UBfYqT7IbQ/>
2. Listen to the Planning Commission Meeting outside the council chambers via speakers. A mic will be brought outside during public comment sections to give the public an opportunity to speak.
3. Email before the meeting by 5:00 PM your comments to
PublicComment@cityoforoville.org



OROVILLE PLANNING COMMISSION

Council Chambers
1735 Montgomery Street
Oroville, CA. 95965

**March 26, 2020
REGULAR MEETING
OPEN SESSION 6:00 PM
AGENDA**

CITY OF OROVILLE PLANNING COMMISSION

CHAIR: Carl Durling
VICE-CHAIR: Wyatt Jenkins
MEMBERS: Randy Chapman; Michael Britton, Tammy Flicker, Susan Sears

ALL MEETINGS ARE RECORDED AND BROADCAST LIVE

*This meeting may be broadcast remotely via audio and/or video conference at the following address:
Cota Cole, LLP, 2261 Lava Ridge Court, Roseville, California 95661.
Meeting is streamed live at cityoforoville.org and on YouTube*

CALL TO ORDER

ROLL CALL

Commissioners: Tammy Flicker, Michael Britton, Randy Chapman, Susan Sears, Vice Chairperson Wyatt Jenkins, Chairperson Carl Durling

PLEDGE OF ALLEGIANCE

INSTRUCTIONS TO INDIVIDUALS WHO WISH TO SPEAK

If you would like to address the commission at this meeting, you are requested to complete the blue speaker request form (located on the wall by the agendas) and hand it to the City Clerk, who is seated on the right of the Council Chamber. The form assists the Clerk with minute taking and assists the Mayor or presiding chair in conducting an orderly meeting. Providing personal information on the form is voluntary. For scheduled agenda items, please submit the form prior to the conclusion of the staff presentation for that item. The Commission has established time limitations of three (3) minutes per speaker on all items and an overall time limit of thirty minutes for non-agenda items. If more than 10 speaker cards are submitted for non-agenda items, the time limitation would be reduced to two minutes per speaker. If more than 15 speaker cards are submitted for non-agenda items, the first 15 speakers will be randomly selected to speak at the beginning of the meeting, with the remaining speakers given an opportunity at the end. **(California Government Code §54954.3(b)). Pursuant to Government Code Section 54954.2, the commission is prohibited from taking action except for a brief response from the Council or staff to statements or questions relating to a non-agenda item.**

PUBLIC COMMENTS

This is an opportunity for members of the public to address the Planning Commission on any subject not on the agenda related to the Planning Commission.

PUBLIC HEARINGS

The Public Hearing Procedure is as follows:

- Chairperson opens the public hearing.
- Staff and Applicant introduce item and take questions from the Commissioners
- Speakers are requested to provide a speaker card to the City Clerk. Hearing is opened for public comment limited to three (3) minutes. Under Government Code 54954.3. the time for each presentation may be limited.
- Public comment session is closed
- Commissioners, discuss, debate and action.

1. MINOR USE PERMIT UP20-02 FOR A NEW HAMPTON INN AND SUITES AT 2355 FEATHER RIVER BOULEVARD (APN035-030-099).

The Oroville Planning Commission will review and consider approving Use Permit No. UP 20-02 for the construction of a new 86-room 4-story Hampton Inn and Suites at 2355 Feather River Boulevard, including a sign program and alcohol sales.

RECOMMENDATION

Adopt the Class 32 Categorical Exemption for In-Fill Development Projects (CCR, Title 14, Sec. 15332 – as the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA); and

Adopt the recommended Findings for Use Permit No. UP20-02 with alcohol sales, and

Approve Use Permit UP20-02 and recommended Conditions of Approval; and

Adopt Resolution No. P2020-02

2. INITIATION OF PROCEEDINGS FOR THE ANNEXATION OF PORTIONS OF SOUTH LINCOLN AVENUE AND MYERS STREET

The Planning Commission will conduct a public hearing to initiate proceedings for annexation into the City 27 parcels constituting 14.2 acres at and near the intersection of Lincoln Boulevard and Myers Street in South Oroville and recommend to the City Council approval of the annexation application.

RECOMMENDATION

Adopt the Class 19 Categorical Exemption for Annexation of Existing Facilities (CCR, Title 14, Sec. 15319) – as the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA); and

Adopt Resolution No. P2020-04 RECOMMENDING THE INITIATION OF APPLICATION BY THE CITY OF OROVILLE REQUESTING THE BUTTE COUNTY LOCAL AGENCY FORMATION COMMISSION TO TAKE PROCEEDINGS FOR THE ANNEXATION OF PORTIONS OF SOUTH LINCOLN AVENUE; and

Forward a recommendation to the City Council that they approve the annexation application and submit it to the Butte Local Agency Formation Commission (LAFCo).

3. APPROVE VAR 20-01 FOR A NEW MAVERIK GAS STATION AND CONVENIENCE STORE FREESTANDING SIGN

The Oroville Planning Commission will consider granting Variance 20-01 to allow Maverik, Inc. to construct a freestanding sign at 350 Oro Dam Blvd. that exceeds the maximum sign height by 25 feet, and that exceeds the maximum sign area by 472 square feet.

RECOMMENDATION

Adopt the Class 32 Categorical Exemption for In-Fill Development Projects (CCR, Title 14, Sec. 15332 – as the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA); and

Adopt the recommended Findings for VAR 20-01, and

Adopt Resolution No. P2020-03

4. APPROVAL OF TENTATIVE PARCEL MAP 20-01

The Oroville Planning Commission will review and consider approving Tentative Parcel Map 20-01 (TPM 20-01) for lot line adjustments to facilitate the Maverik gas station and convenience store project at 350 Oroville Dam Boulevard. This location is at the northwest corner the intersection with Feather River Boulevard. The map will split one lot into two lots.

RECOMMENDATION

Approve the recommended findings for Tentative Parcel Map 20-01 and recommended Conditions of Approval;

Adopt Resolution No. P2020-04

DIRECTOR’S REPORT

The Director shall report on information pertinent to the Planning Commission.

COMMISSION REPORTS

Reports by commission members on information pertinent to the Planning Commission.

ADJOURNMENT

Adjourn to Thursday, April 26, 2020 at 6:00 P.M. in the Oroville City Council Chambers

***** NOTICE *****

Accommodating Those Individuals with Special Needs – In compliance with the Americans with Disabilities Act, the City of Oroville encourages those with disabilities to participate fully in the public meeting process. If you have a special need in order to allow you to attend or participate in our public meetings, please contact the City Clerk at (530) 538-2535, well in advance of the regular meeting you wish to attend, so that we may make every reasonable effort to accommodate you. Documents distributed for public session items, less than 72 hours prior to meeting, are available for public inspection at City Hall, 1735 Montgomery Street, Oroville, California.

***** NOTICE *****

Any person who is dissatisfied with the decisions of this Planning Commission may appeal to the City Council by filing with the Zoning Administrator within fifteen days from the date of the action. A written notice of appeal specifying the grounds and an appeal fee immediately payable to the City of Oroville must be submitted at the time of filing. The Oroville City Council may sustain, modify or overrule this decision.



City of Oroville

Leonardo DePaola
Community Development Director

COMMUNITY DEVELOPMENT DEPARTMENT

1735 Montgomery Street
Oroville, CA 95965-4897
(530) 538-2436 FAX (530) 538-2426
www.cityoforoville.org

PLANNING COMMISSION STAFF REPORT

Thursday, March 26, 2020

RE: Minor Use Permit UP20-02 for a new Hampton Inn and Suites at 2355 Feather River Boulevard (APN035-030-099).

SUMMARY: The Oroville Planning Commission will review and consider approving Minor Use Permit No. UP 20-02 for the construction of a new 86-room 4-story Hampton Inn and Suites at 2355 Feather River Boulevard, including alcohol sales.

RECOMMENDATION: Staff recommends the following actions:

1. **Adopt** the Class 32 Categorical Exemption for In-Fill Development Projects (CCR, Title 14, Sec. 15332 – as the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA);
2. **Adopt** the recommended Findings for Minor Use Permit No. UP20-02 with alcohol sales, and
3. **Approve** Minor Use Permit UP20-02 and recommended Conditions of Approval;
4. **Adopt** Resolution No. P2020-02

APPLICANTS: Valley Star Partners, LLC

LOCATION: 2355 Feather River Boulevard, Oroville, California

GENERAL PLAN: MXC (Corridor Mixed Use)

ZONING: MU (Mixed Use)

FLOOD ZONE: Zone X

ENVIRONMENTAL DETERMINATION: Categorically Exempt per Section 15332 of Title 14, California Code of Regulations.

REPORT PREPARED BY:

REVIEWED BY:

Wes Ervin, Senior Planner
Community Development Department

Leonardo DePaola, Director
Community Development Director

DISCUSSION

This property has been vacant for many years. The property owner intends to erect a new 86-room 4-story Hampton Inn and Suites (an Upper Midscale Hilton brand). Project components include 86 rooms, with 32 King Studios, 9 King rooms, and 45 double queen rooms. 7 of the rooms will be accessible. Total gross floor area is 55,253 square feet.

Approval of the Minor Use Permit also completes the required Development Review of the new construction. The Development Review Committee met on March 18, with Planning Commissioner Sears in attendance. The applicant also met with staff for a pre-application review on July 9, 2019. No specific issues were raised other than those discussed below.

Traffic Considerations

The project has two entrance/exits, one on Highway 162 (Oro Dam Blvd) through the Starbucks/Panda Express parking lot, and one down the driveway on Feather River Boulevard.

Applicant has provided a traffic impact analysis by KD Anderson, indicating that the existing traffic flow will not be adversely affected by the project for several years, and making no recommendations for improvements needed to satisfy minimum standards.

Nevertheless, staff recommends a condition requiring applicant to widen the pavement on Feather River Boulevard to create room to allow northbound vehicles to bypass trucks stopped while waiting to turn left into the property. The widening would front the vacant lot between the Arco gas station and Clayton Homes. We are not requesting curb and gutter at this time, only a pavement extension and taper of the driveway (per County Standard S-18B). Curb and gutter would be developed in the future as development occurs there. Staff also note that the same condition was just imposed of the Maverik project and expect to work with both applicants to ensure the widening.

Parking

Per OMC 17.12.070 the project requires 99 spaces (one space per room, plus one for any resident manager). Applicant is providing 107 spaces, including 4 van accessible spaces.

Signage

Per OMC 17.20 sign regulations, the total allowable area for signs is 365 square feet (based on 243 linear feet of building frontage). The applicant has not provided a specific sign program and must thus submit for Development Review of the sign program at a later date.

Applicant has been notified that they have the opportunity to seek the space for a future tenant on the 85-foot tall Starbucks/Panda Express sign and on the monument sign beneath it.

Required Findings for a Use Permit per OMC 17.48.010.E.4

- a) The granting of the permit will not be incompatible with or detrimental to the general health, safety or public welfare of the surrounding area or of the city as a whole. *The project will be in a location already fully developed with a long history as a similar use, and which is surrounded by commercial development.;*

- b) The proposed use follows sound principles of land use by having a suitable location relative to the community as a whole, as well as to transportation facilities, public services and other land uses in the vicinity. *The proposed use will provide a desired commercial product that matches the City's desired development pattern;*
- c) Public utilities and facilities, including streets and highways, water and sanitation, are adequate to serve the proposed use or will be made adequate prior to the establishment of the proposed use. *All infrastructure is in and available;*
- d) The location, size, design and operating characteristics of the proposed use will be harmonious and compatible with the surrounding neighborhood and will not adversely affect abutting properties. *All surrounding properties are also freeway-oriented commercial and will not be adversely affected. The proposed use is compatible with the surrounding neighborhood by virtue of the type of use, which includes most of the City's other hotel properties;*
- e) The subject site is physically suitable for the type and intensity of land use being proposed. *Applicant has submitted a set of drawings demonstrating that the site is physically suitable for the proposed type and intensity of use. The site will provide adequate capacity for the use;*
- f) The size, intensity and location of the proposed use will provide services that are necessary or desirable for the neighborhood and community as a whole. *Hampton Suites is a desirable and respected upper Midscale hotel brand, and will offer the traveler and local citizens alike additional opportunities for overnight stays;*
- g) The permit complies with all applicable laws and regulations, including the requirements of the general plan, of this title and of the city municipal code. *The use is permitted, subject to a use permit, and is compatible with the General Plan, Zoning codes, and the Oroville Municipal Code.*

Alcohol sales

Required Findings for Alcohol Sales (OMC 17.16.160)

Before approving a use permit for alcohol sales, the Planning Commission must consider each of the following issues and make appropriate findings (Staff's comments are in *italics, draft findings are in the Resolution*):

- 1. The nature of all land uses within 500 feet of the proposed alcoholic beverage sales, and in particular, the location of similar nearby uses and the location of residences, parks, schools and houses of worship.
The project is immediately adjacent to the Highway 70 Oro Dam Blvd. offramp, and is close to many similar retail, gasoline and food stores, and since this location has always been envisioned for a similar use, the project does not generate additional concern. The project is not near any residential or assembly uses;
- 2. Appropriate measures to provide proper maintenance of the building exterior, including provisions to keep the premises free of litter and debris.

This requirement is added to the project conditions, and applicant has the reputation for clean and well-managed operations;

- 3. Lighting of exterior areas, including parking lots, to discourage loitering outside of the building.

This requirement is added to the project conditions and appropriate plans have been provided

- 4. Protection of adjacent properties from noise, odors and undue light and glare, as well as illegal activity.

This requirement is added to the project conditions

- 5. Provision of onsite security, both inside and outside the building, to satisfy any concerns raised by the chief of police.

This requirement is added to the project conditions

- 6. Hours of operation.

Applicant intends a 24-hour operation, which will be limited by State law to the hours of alcohol sales being between 6am and 2am daily.

- 7. Controls on occupancy limits inside of the building and loitering outside of the building.

This requirement is added to the project conditions

- 8. Prevention of adverse effect of the use on the value of adjacent properties.

As part of an intensive commercial area, this establishment is likely to enhance the patronage and thus the value of adjacent properties;

- 9. Whether approval would result in an undue concentration of these uses, and whether public convenience or necessity would mitigate the issue of undue concentration.

The Police Department and ABC determine if there is an undue concentration in the area. At this time there is no indication of an overconcentration.

FISCAL IMPACT

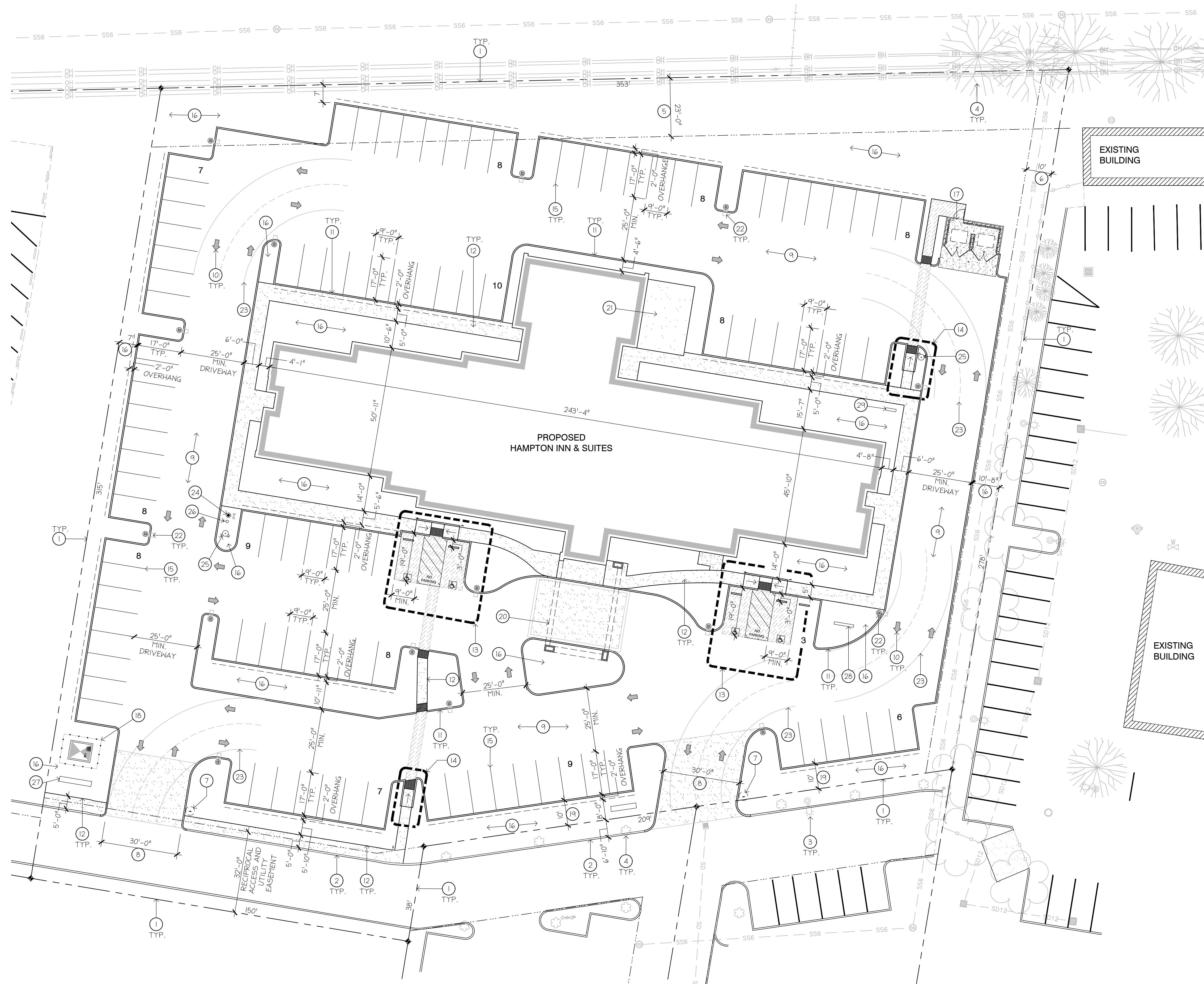
None. The project is subject to all customary fees, including the traffic impact fee.

PUBLIC NOTICE

A request for comments was prepared and circulated to the local agencies and surrounding property owners within 300 feet of the property. Additionally, the meeting date, time, and project description were published in the Oroville Mercury Register and posted at City Hall more than 10 days in advance of the meeting.

ATTACHMENTS

1. Hampton Inn and Suites Application materials
2. Resolution P2020-02
3. March 18, 2020 Development Review Committee meeting notes
4. Notice of Exemption (CEQA)



KEYED NOTES

- 1 DASHED LINES INDICATE EXISTING PROPERTY LINE.
- 2 EXISTING CURB TO REMAIN.
- 3 EXISTING STREET LIGHT(S) TO REMAIN.
- 4 EXISTING TREE(S) TO REMAIN.
- 5 DASHED LINES INDICATE EXISTING PACIFIC GAS AND ELECTRIC COMPANY UTILITY EASEMENT.
- 6 DASHED LINES INDICATE EXISTING CFT NV DEVELOPMENTS, L.L.C. UTILITY EASEMENT.
- 7 NEW POLE MOUNTED TOW-AWAY SIGNAGE.
- 8 NEW STAMP CONCRETE DRIVEWAY.
- 9 NEW AC PAVING.
- 10 NEW DIRECTIONAL ARROW STRIPING PAINTED.
- 11 NEW 6" HIGH CONCRETE CURB.
- 12 NEW CONCRETE FLATWORK - CONCRETE FLATWORK SHALL NOT EXCEED MAXIMUM SLOPE IN ANY DIRECTION.
- 13 NEW ACCESSIBLE PARKING STALL, CONCRETE CURB CUT RAMP, SIGNAGE, LOADING/UNLOADING ZONE, TRUNCATED DOMES, AND STRIPING/ISA' SYMBOL.
- 14 DASHED LINES INDICATE NEW ACCESSIBLE CONCRETE CURB CUT RAMP.
- 15 NEW 4" WIDE STRIPING PAINTED WHITE.
- 16 NEW LANDSCAPING AREA PER CITY STANDARDS.
- 17 NEW C.M.U. BLOCK TRASH AND RECYCLING ENCLOSURE PER CITY STANDARDS.
- 18 NEW ELECTRICAL TRANSFORMER - PROVIDE BOLLARDS AND CONCRETE PAD.
- 19 LOCATION OF FRONT SETBACK.
- 20 DASHED LINES INDICATE LOCATION OF PORTE COCHERE.
- 21 NEW OUTDOOR PATIO AREA.
- 22 NEW PARKING LOT POLE LIGHT ON CONCRETE BASE - POLE LIGHT SHALL NOT BE WITHIN 2'-0" DEEP VEHICLE OVERHANG - McGRAH-EDISON RIGLON-AF-05-LED-EI-T3-BZ / 5554A255FNI QX / AB / GF / T/PI - 25' POLE - FINAL DESIGN BY ELECTRICAL ENGINEER.
- 23 44'-0" CENTERLINE TRUCK TURNING RADIUS.
- 24 NEW POST INDICATOR VALVE (P.I.V.).
- 25 NEW FIRE HYDRANT.
- 26 NEW FIRE DEPARTMENT CONNECTION (F.D.C.).
- 27 NEW HAMPTON INN AND SUITES PYLON SIGN.
- 28 NEW HAMPTON INN AND SUITES MONUMENT SIGN.
- 29 NEW HAMPTON INN AND SUITES DIRECTIONAL SIGN.

CENTERLINE DESIGN, LLC
 PLANNING - DESIGN - CONSULTING
 1508 TOLLHOUSE ROAD, SUITE 'C'
 CLOVIS, CALIFORNIA 93811
 559-298-3060 (OFFICE)
 559-298-3267 (FAX)

PROJECT DATA

PARCEL DATA	
A.P.N.:	035-030-099-000
ZONING:	MIX (CORRIDOR MIXED-USE)
LAND AREA:	(2.46 ACRES) ±107,000 S.F.
BUILDING DATA	
GROUND FLOOR AREA:	15,416 S.F.
SECOND FLOOR AREA:	13,307 S.F.
THIRD FLOOR AREA:	13,265 S.F.
FOURTH FLOOR AREA:	13,265 S.F.
GROSS BUILDING AREA:	55,253 S.F.
CONSTRUCTION TYPE:	IIA
BUILDING OCCUPANCY TYPE:	R-1
FIRE SPRINKLERS:	YES
FIRE ALARM:	YES
NUMBER OF STORIES:	4
ACTUAL BUILDING HEIGHT:	54'-4"
BUILDING LOT COVERAGE:	51.64%
PARKING DATA:	
TOTAL REQUIRED VEHICLE PARKING STALLS:	
TOTAL VEHICLE PARKING STALLS FOR HOTEL REQUIRED BY ZONING ORDINANCE:	
(1 PER ROOM PLUS ADDITIONAL SPACES FOR EMPLOYEES =	99
ACCESSIBILITY PARKING REQUIREMENTS:	
ACCESSIBLE:	4
(VAN ACCESSIBLE)	1
TOTAL PROVIDED NEW VEHICLE PARKING STALLS:	
STANDARD:	103
ACCESSIBLE:	4
(VAN ACCESSIBLE)	2
TOTAL PROVIDED VEHICLE PARKING STALLS:	107

PROJECT
 SCHEMATIC DESIGN PLANS FOR:
 HAMPTON INN & SUITES
 2355 FEATHER RIVER BLVD.
 OROVILLE, CALIFORNIA

STATUS	
Current Release Date	02-18-20
Planning Submittal	
Plan Check Submittal	

REVISIONS	
1	
2	
3	
4	
5	

IDENTIFICATION	
Scale	1" = 20'-0"
Project Coordinator	CHRIS WARD
Project No.	19-114
Sheet	

GUEST ROOM COUNT BREAKDOWN

ROOM TYPE	GROUND FL.	2nd FLOOR	3RD FLOOR	4TH FLOOR	TOTAL
KING	0	2	2	2	6
DOUBLE QUEEN	0	12	15	15	42
KING STUDIO	7	8	8	8	31
ACCESSIBLE KING	0	1	1	1	3
ACCESSIBLE DOUBLE QUEEN	0	1	1	1	3
ACCESSIBLE KING STUDIO	1	0	0	0	1
TOTAL	8	24	27	27	86

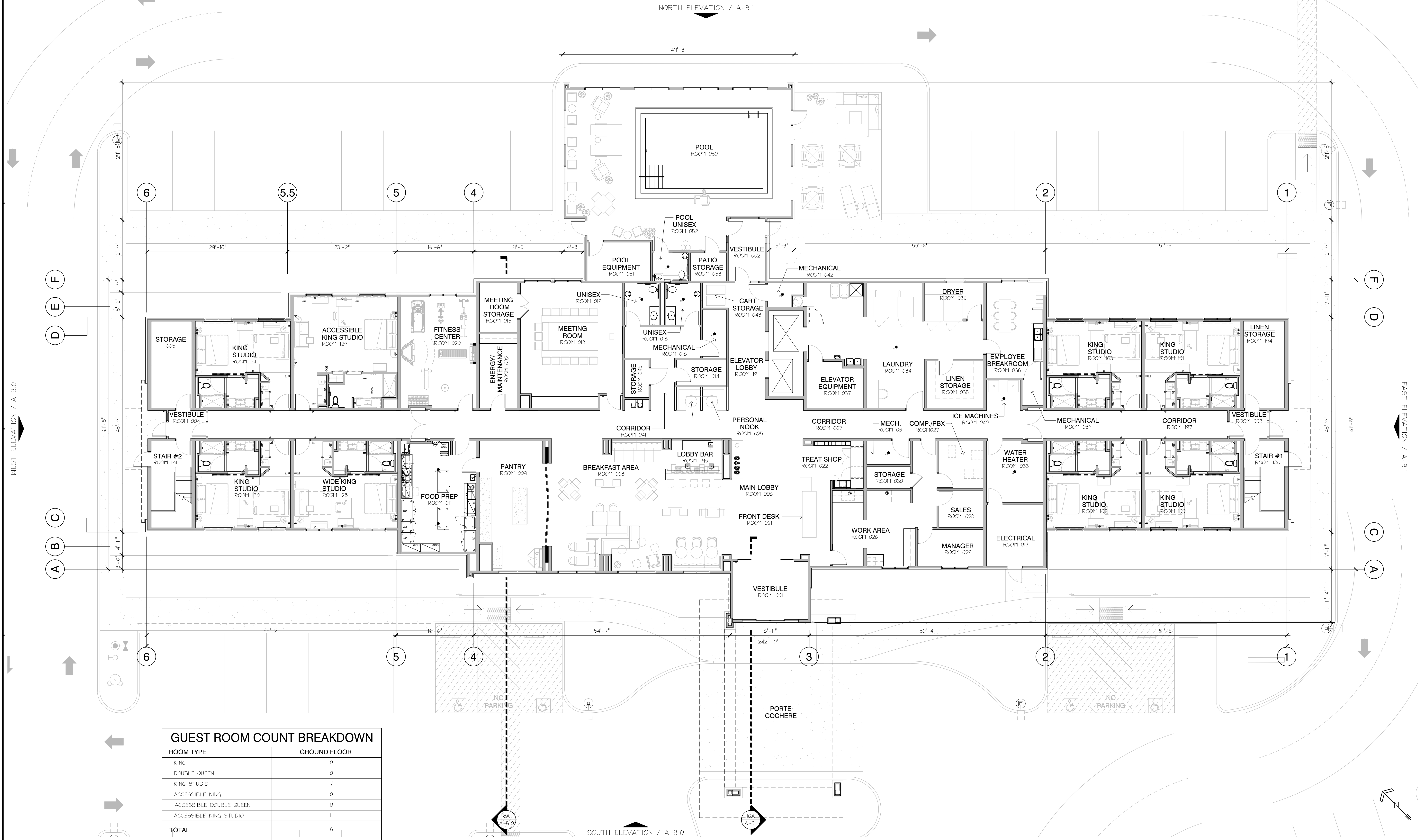
VICINITY MAP



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PROPOSED SITE PLAN

A-0.0



GUEST ROOM COUNT BREAKDOWN	
ROOM TYPE	GROUND FLOOR
KING	0
DOUBLE QUEEN	0
KING STUDIO	7
ACCESSIBLE KING	0
ACCESSIBLE DOUBLE QUEEN	0
ACCESSIBLE KING STUDIO	1
TOTAL	8

GENERAL NOTES

- ALL CONTROLS FOR USE BY GUESTS MUST BE MOUNTED BETWEEN 15" AND 48" AND MUST HAVE A 30"x48" MINIMUM CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH. CONTROLS MOUNTED OVER AN OBSTRUCTION THAT IS BETWEEN 10" AND 24" DEEP MAY BE NO HIGHER THAN 46" AFF IF PARALLEL APPROACH IS PROVIDED; WHERE OBSTRUCTIONS ARE BETWEEN 20" AND 25" WITH FORWARD APPROACH CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
- COMMON EMPLOYEE AREAS SUCH AS BREAK ROOMS, LOCKER/TOILET/SHOWER ROOMS MUST BE ACCESSIBLE AND HAVE ACCESSIBLE FEATURES AND FIXTURES. EMPLOYEE WORK AREAS LESS THAN 1000 SQ FT AS DEFINED BY PERMANENTLY INSTALLED PARTITIONS, COUNTERS, CASEWORK OR FURNISHINGS ARE NOT REQUIRED TO HAVE AN ACCESSIBLE PATH OF CIRCULATION THROUGHOUT THE SPACE BUT ARE REQUIRED TO BE CONSTRUCTED SO AN INDIVIDUAL CAN APPROACH, ENTER AND EXIT THE SPACE.
- IN COMMON SPACES WITHIN EMPLOYEE AREAS AT LEAST ONE OF EACH TYPE OF STORAGE OR WORK COUNTER, 5% OF LOCKERS, AND CONTROLS (EM PHONES, CARD READERS, ETC.) MUST BE ON AN ACCESSIBLE ROUTE, WITHIN REACH RANGE AND MUST COMPLY WITH STANDARDS FOR CONTROLS AS DEFINED IN THE GOVERNING ACCESSIBILITY STANDARDS OR LOCAL CODE WHICHEVER IS STRICTER.
- FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE AND VISIBLE ALARMS COMPLYING WITH NFPA 72 (1999 OR 2010 EDITION) AND AS REQUIRED BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC AND COMMON USE AREAS AND GUEST ROOMS DESIGNATED AS 'GUEST ROOMS WITH COMMUNICATIONS FEATURES' AT A MINIMUM. WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE WIRING SHALL BE DESIGNED SO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQUIRED BY LOCAL AUTHORITIES.
- OPERABLE PORTION OF CARD READER TO BE MOUNTED AT 48" OR BELOW WITH CLEAR FLOOR SPACE FOR FRONT OR PARALLEL APPROACH.
- ALL SIGNS IDENTIFYING PERMANENT ROOMS OR SPACES ARE REQUIRED TO HAVE VISUAL AND RAISED CHARACTERS AND BRAILLE SIGNAGE TO BE MOUNTED ON LATCH SIDE OF DOOR WITH THE LOWEST TACTILE CHARACTERS NO LOWER THAN 48" AND THE BOTTOM OF THE HIGHEST TACTILE CHARACTERS NO HIGHER THAN 60" AFF.
- IN PUBLIC AREAS INTENDED FOR DINING, AT LEAST 5% OF THE TABLES MUST BE ACCESSIBLE WITH COMPLIANT KNEE AND TOE CLEARANCE AND LOCATED ON AN ACCESSIBLE ROUTE AND DISTRIBUTED THROUGHOUT THE SPACE.
- ALL EQUIPMENT, FURNITURE AND MILLWORK INTENDED FOR GUEST USE MUST MEET ALL CLEARANCES AND REACH RANGES AS DEFINED BY THE GOVERNING ACCESSIBILITY CODE OR LOCAL CODE, WHICHEVER IS STRICTER.
- ALL OPERABLE WINDOWS PROVIDED IN PUBLIC GUEST ACCESSIBLE SPACES AND IN ACCESSIBLE GUEST ROOM TYPES MUST MEET ALL ACCESSIBILITY REQUIREMENTS PERTAINING TO REACH RANGE, OPERATING CONTROLS AND CLEAR FLOOR SPACE - HARDWARE AND WINDOW OPERATION MUST BE NO GREATER THAN 5 LBS.
- PROVIDE ACCESSIBLE FLOOR TRANSITIONS AT ALL LOCATIONS WHERE THERE IS A CHANGE IN FLOORING MATERIAL OR AT DOOR THRESHOLDS. THE CHANGE OF LEVEL BETWEEN MATERIALS MUST BE NO MORE THAN 1/4" OR UP TO 1/2" IF SLOPED AT 1:2.
- ALL DATA AND POWER RECEPTACLES INTENDED FOR GUEST ACCESS/USE MUST BE INSTALLED WITHIN ACC. REACH RANGES -- REFER TO GENERAL NOTE #1.
- HALL MOUNTED EQUIPMENT, FIXTURES, LIGHTING, ETC. BETWEEN 27" AND 80" AFF SHALL NOT PROTRUDE MORE THAN 4" FROM HALL PER ACCESSIBILITY REQUIREMENTS -- CONSULT THE HDG FOR FURTHER REQUIREMENTS.
- ALL EQUIPMENT (INCLUDING VENDING MACHINES, ICE MACHINES, ATM MACHINES, WASHERS, DRYERS, ETC.) FURNITURE AND MILLWORK INTENDED FOR GUEST USE MUST BE ON AN ACCESSIBLE ROUTE AND MUST MEET ACCESSIBILITY STANDARDS FOR CLEAR FLOOR SPACE, REACH RANGE, OPERATING PARTS AND KNEE AND TOE SPACE AS DEFINED BY ACCESSIBILITY REQUIREMENTS OR APPLICABLE LOCAL CODES, WHICHEVER IS STRICTER.
- ALL EQUIPMENT INTENDED FOR GUEST USE MUST BE PLACED SO THAT CONTROLS REQUIRED FOR USE ARE WITHIN THE ACCESSIBLE REACH RANGE AS DEFINED BY THE GENERAL NOTES ON THE ACCESSIBILITY PLANS. OWNER MUST VERIFY THAT ALL EQUIPMENT MEETS THESE REQUIREMENTS PRIOR TO INSTALLATION.
- BUILT-IN COUNTERS TO BE MINIMUM 24" X 48" AND BE LOCATED BETWEEN 28" - 34" AFF AND MUST HAVE MIN. 17" UNOBSTRUCTED DEEP KNEE AND TOE SPACE THAT IS AT LEAST 30" WIDE. IF STORAGE IS PROVIDED, SUCH AS HOOKS, HANG RODS OR SHELVES, A PORTION MUST BE PROVIDED AT 48" AFF WITH 30" X 48" CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH TO THE STORAGE AREA.
- REFER TO HDG FOR ADDITIONAL REQUIREMENTS FOR PUBLIC SPACES & EQUIPMENT.

PROJECT
SCHEMATIC DESIGN PLANS FOR:
HAMPTON INN & SUITES
2355 FEATHER RIVER BLVD.
OROVILLE, CALIFORNIA

STATUS	
Current Release Date	02-18-20
Planning Submittal	--
Plan Check Submittal	--

REVISIONS	
1	△
2	△
3	△
4	△
5	△

IDENTIFICATION	
Scale	3/32" = 1'-0"
Project Coordinator	CHRIS WARD
Project No.	19-114
Sheet	

PROPOSED GROUND FLOOR PLAN

A-1.0

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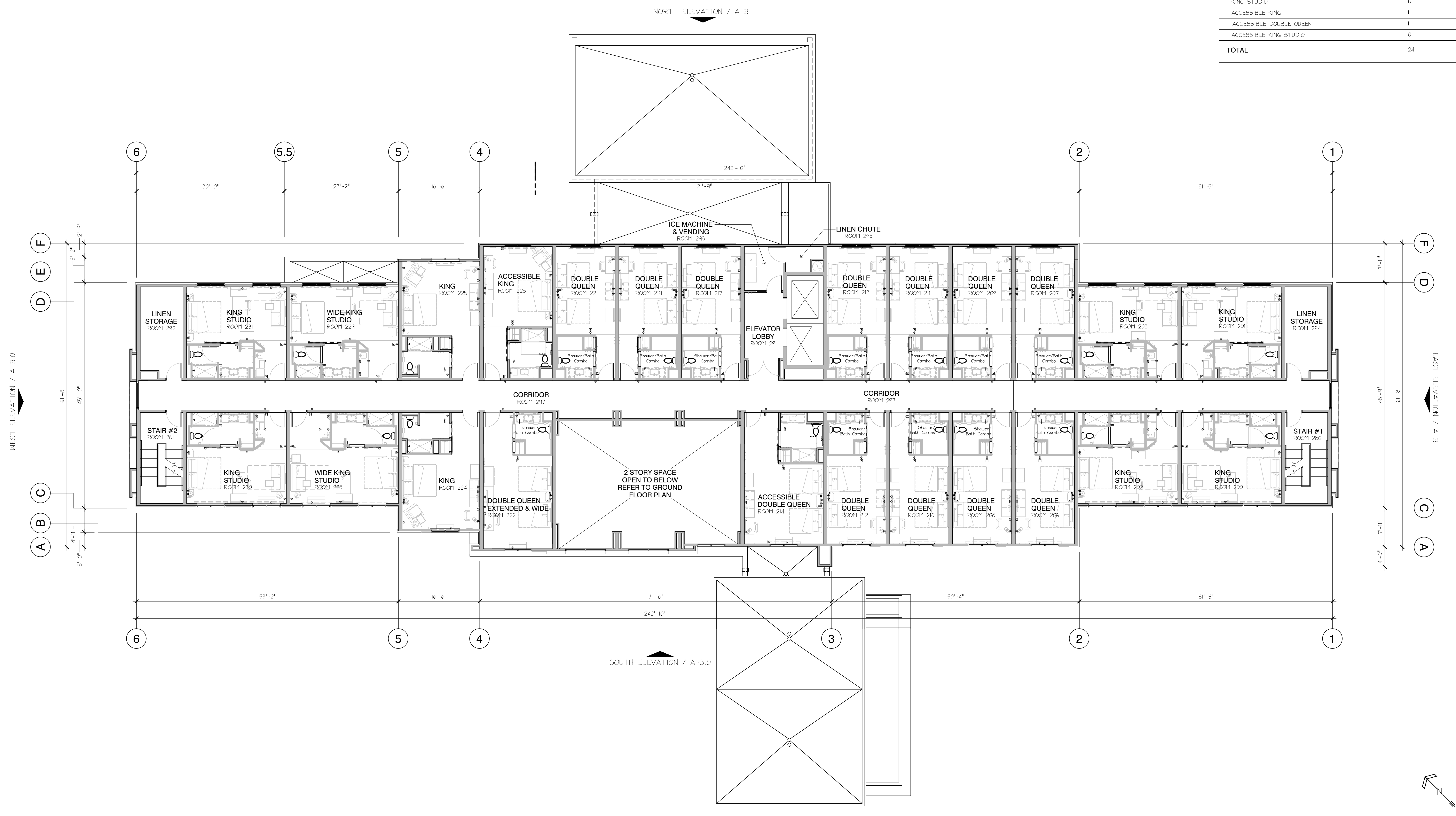
GUEST ROOM COUNT BREAKDOWN

ROOM TYPE	SECOND FLOOR
KING	2
DOUBLE QUEEN	12
KING STUDIO	8
ACCESSIBLE KING	1
ACCESSIBLE DOUBLE QUEEN	1
ACCESSIBLE KING STUDIO	0
TOTAL	24



**CENTERLINE
DESIGN, LLC**

PLANNING - DESIGN - CONSULTING
1508 TOLLHOUSE ROAD, SUITE 'C'
CLOVIS, CALIFORNIA 93811
559-298-3860 (OFFICE)
559-298-3267 (FAX)



GENERAL NOTES

- ALL CONTROLS FOR USE BY GUESTS MUST BE MOUNTED BETWEEN 15" AND 48" AND MUST HAVE A 30"x48" MINIMUM CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH. CONTROLS MOUNTED OVER AN OBSTRUCTION THAT IS BETWEEN 10" AND 24" DEEP MAY BE NO HIGHER THAN 46" AFF IF PARALLEL APPROACH IS PROVIDED; WHERE OBSTRUCTIONS ARE BETWEEN 20" AND 25" WITH FORWARD APPROACH CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
- COMMON EMPLOYEE AREAS SUCH AS BREAK ROOMS, LOCKER/TOILET/SHOWER ROOMS MUST BE ACCESSIBLE AND HAVE ACCESSIBLE FEATURES AND FIXTURES. EMPLOYEE WORK AREAS LESS THAN 1000 SQFT AS DEFINED BY PERMANENTLY INSTALLED PARTITIONS, COUNTERS, CASEWORK OR FURNISHINGS ARE NOT REQUIRED TO HAVE AN ACCESSIBLE PATH OF CIRCULATION THROUGHOUT THE SPACE BUT ARE REQUIRED TO BE CONSTRUCTED SO AN INDIVIDUAL CAN APPROACH, ENTER AND EXIT THE SPACE.
- IN COMMON SPACES WITHIN EMPLOYEE AREAS AT LEAST ONE OF EACH TYPE OF STORAGE OR WORK COUNTER, 5% OF LOCKERS, AND CONTROLS (EM PHONES, CARD READERS, ETC.) MUST BE ON AN ACCESSIBLE ROUTE, WITHIN REACH RANGE AND MUST COMPLY WITH STANDARDS FOR CONTROLS AS DEFINED IN THE GOVERNING ACCESSIBILITY STANDARDS OR LOCAL CODE WHICHEVER IS STRICTER.
- FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE AND VISIBLE ALARMS COMPLYING WITH NFPA 72 (1999 OR 2010 ADDITION) AND AS REQUIRED BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC AND COMMON USE AREAS AND GUEST ROOMS DESIGNATED AS 'GUEST ROOMS WITH COMMUNICATIONS FEATURES' AT A MINIMUM. WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE WIRING SHALL BE DESIGNED SO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQUIRED BY LOCAL AUTHORITIES.
- OPERABLE PORTION OF CARD READER TO BE MOUNTED AT 48" OR BELOW WITH CLEAR FLOOR SPACE FOR FRONT OR PARALLEL APPROACH.
- ALL SIGNS IDENTIFYING PERMANENT ROOMS OR SPACES ARE REQUIRED TO BE MOUNTED ON LATCH SIDE OF DOOR WITH THE LOWEST TACTILE CHARACTERS NO LOWER THAN 48" AND THE BOTTOM OF THE HIGHEST TACTILE CHARACTERS NO HIGHER THAN 60" AFF.
- IN PUBLIC AREAS INTENDED FOR DINING, AT LEAST 5% OF THE TABLES MUST BE ACCESSIBLE WITH COMPLIANT KNEE AND TOE CLEARANCE AND LOCATED ON AN ACCESSIBLE ROUTE AND DISTRIBUTED THROUGHOUT THE SPACE.
- ALL EQUIPMENT, FURNITURE AND MILLWORK INTENDED FOR GUEST USE MUST MEET ALL CLEARANCES AND REACH RANGES AS DEFINED BY THE GOVERNING ACCESSIBILITY CODE OR LOCAL CODE, WHICHEVER IS STRICTER.
- ALL OPERABLE WINDOWS PROVIDED IN PUBLIC GUEST ACCESSIBLE SPACES AND IN ACCESSIBLE GUEST ROOM TYPES MUST MEET ALL ACCESSIBILITY REQUIREMENTS PERTAINING TO REACH RANGE, OPERATING CONTROLS AND CLEAR FLOOR SPACE - HARDWARE AND WINDOW OPERATION MUST BE NO GREATER THAN 5 LBS.
- PROVIDE ACCESSIBLE FLOOR TRANSITIONS AT ALL LOCATIONS WHERE THERE IS A CHANGE IN FLOORING MATERIAL OR AT DOOR THRESHOLDS. THE CHANGE OF LEVEL BETWEEN MATERIALS MUST BE NO MORE THAN 1/4" OR UP TO 1/2" IF SLOPED AT 1:2.
- ALL DATA AND POWER RECEPTACLES INTENDED FOR GUEST ACCESS/USE MUST BE INSTALLED WITHIN ACC. REACH RANGES -- REFER TO GENERAL NOTE #1.
- WALL MOUNTED EQUIPMENT, FIXTURES, LIGHTING, ETC. BETWEEN 27" AND 80" AFF SHALL NOT PROTRUDE MORE THAN 4" FROM WALL PER ACCESSIBILITY REQUIREMENTS - CONSULT THE HDG FOR FURTHER REQUIREMENTS.
- ALL EQUIPMENT (INCLUDING VENDING MACHINES, ICE MACHINES, ATM MACHINES, WASHERS, DRYERS, ETC.) FURNITURE AND MILLWORK INTENDED FOR GUEST USE MUST BE ON AN ACCESSIBLE ROUTE AND MUST MEET ACCESSIBILITY STANDARDS FOR CLEAR FLOOR SPACE, REACH RANGE, OPERATING PARTS AND KNEE AND TOE SPACE AS DEFINED BY ACCESSIBILITY REQUIREMENTS OR APPLICABLE LOCAL CODES, WHICHEVER IS STRICTER.
- ALL EQUIPMENT INTENDED FOR GUEST USE MUST BE PLACED SO THAT CONTROLS REQUIRED FOR USE ARE WITHIN THE ACCESSIBLE REACH RANGE AS DEFINED BY THE GENERAL NOTES ON THE ACCESSIBILITY PLANS. OWNER MUST VERIFY THAT ALL EQUIPMENT MEETS THESE REQUIREMENTS PRIOR TO INSTALLATION.
- BUILT-IN COUNTERS TO BE MINIMUM 24" X 48" AND BE LOCATED BETWEEN 28" - 34" AFF AND MUST HAVE MIN. 17" UNOBSTRUCTED DEEP KNEE AND TOE SPACE THAT IS AT LEAST 30" WIDE. IF STORAGE IS PROVIDED, SUCH AS HOOKS, HANG RODS OR SHELVES, A PORTION MUST BE PROVIDED AT 48" AFF WITH 30" X 48" CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH TO THE STORAGE AREA.
- REFER TO HDG FOR ADDITIONAL REQUIREMENTS FOR PUBLIC SPACES & EQUIPMENT.

PROPOSED SECOND FLOOR PLAN

PROJECT
SCHEMATIC DESIGN PLANS FOR:
HAMPTON INN & SUITES
2355 FEATHER RIVER BLVD.
OROVILLE, CALIFORNIA

STATUS

Current Release Date	02-18-20
Planning Submittal	--
Plan Check Submittal	--

REVISIONS

1	△	
2	△	
3	△	
4	△	
5	△	
6	△	

IDENTIFICATION

Scale	3/32" = 1'-0"
Project Coordinator	CHRIS WARD
Project No.	19-114
Sheet	

A-1.1

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GUEST ROOM COUNT BREAKDOWN

ROOM TYPE	THIRD FLOOR
KING	2
DOUBLE QUEEN	15
KING STUDIO	8
ACCESSIBLE KING	1
ACCESSIBLE DOUBLE QUEEN	1
ACCESSIBLE KING STUDIO	0
TOTAL	27



CENTERLINE DESIGN, LLC
 PLANNING - DESIGN - CONSULTING
 1508 TOLLHOUSE ROAD, SUITE 'C'
 CLOVIS, CALIFORNIA 93811
 559-298-3860 (OFFICE)
 559-298-3267 (FAX)

NORTH ELEVATION / A-3.1



SOUTH ELEVATION / A-3.0

PROJECT
 SCHEMATIC DESIGN PLANS FOR:
 HAMPTON INN & SUITES
 2355 FEATHER RIVER BLVD.
 OROVILLE, CALIFORNIA

STATUS

Current Release Date	02-18-20
Planning Submittal	--
Plan Check Submittal	--

REVISIONS

1	△	
2	△	
3	△	
4	△	
5	△	

IDENTIFICATION

Scale	1/8" = 1'-0"
Project Coordinator	CHRIS WARD
Project No.	19-114
Sheet	

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- COMMON EMPLOYEE AREAS SUCH AS BREAK ROOMS, LOCKER/TOILET/SHOWER ROOMS MUST BE ACCESSIBLE AND HAVE ACCESSIBLE FEATURES AND FIXTURES. EMPLOYEE WORK AREAS LESS THAN 1000 SQFT AS DEFINED BY PERMANENTLY INSTALLED PARTITIONS, COUNTERS, CASEWORK OR FURNISHINGS ARE NOT REQUIRED TO HAVE AN ACCESSIBLE PATH OF CIRCULATION THROUGHOUT THE SPACE BUT ARE REQUIRED TO BE CONSTRUCTED SO AN INDIVIDUAL CAN APPROACH, ENTER AND EXIT THE SPACE.
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PROPOSED THIRD FLOOR PLAN

A-1.2

GUEST ROOM COUNT BREAKDOWN

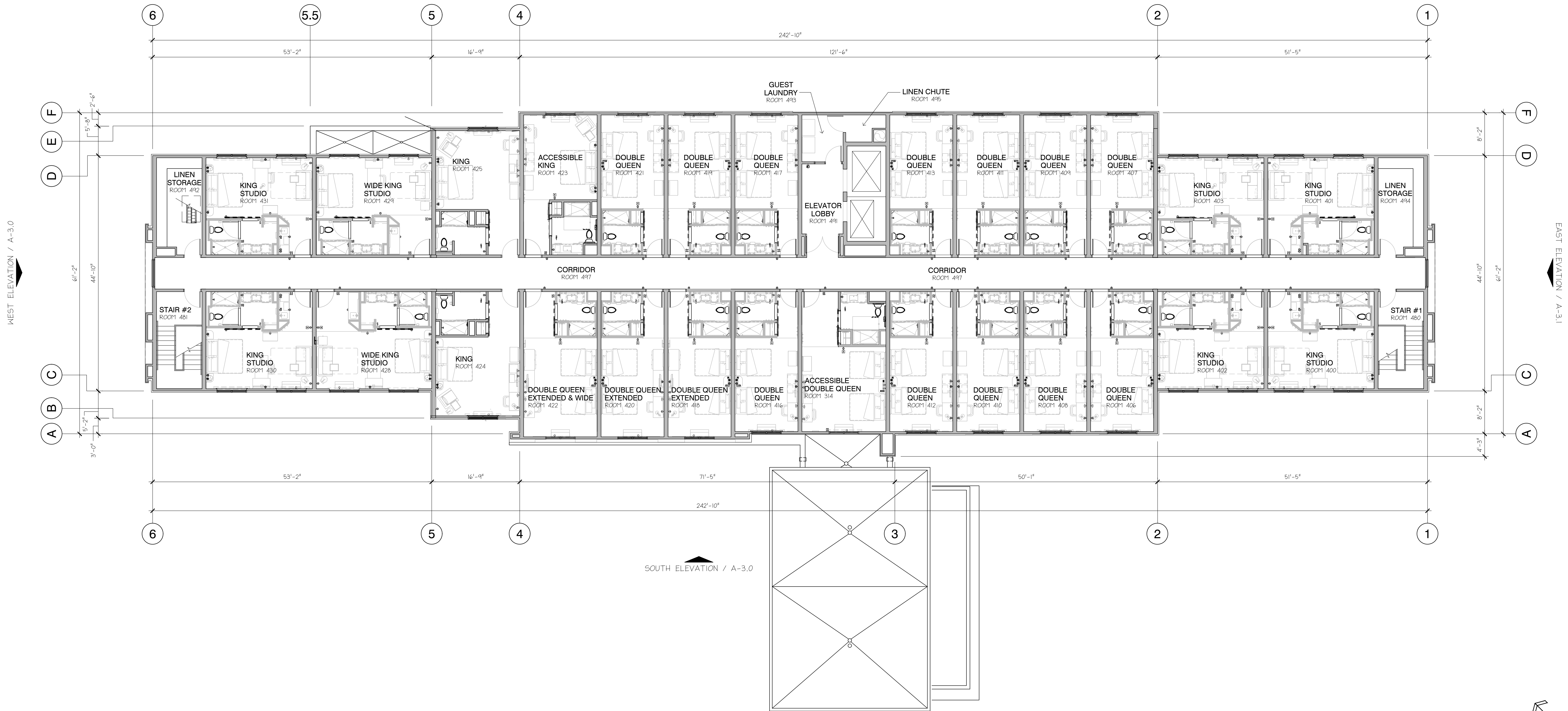
ROOM TYPE	FOURTH FLOOR
KING	2
DOUBLE QUEEN	15
KING STUDIO	8
ACCESSIBLE KING	1
ACCESSIBLE DOUBLE QUEEN	1
ACCESSIBLE KING STUDIO	0
TOTAL	27



**CENTERLINE
DESIGN, LLC**

PLANNING - DESIGN - CONSULTING
1508 TOLLHOUSE ROAD, SUITE 'C'
CLOVIS, CALIFORNIA 93811
559-298-3860 (OFFICE)
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NORTH ELEVATION / A-3.1



PROJECT
SCHEMATIC DESIGN PLANS FOR:
HAMPTON INN & SUITES
2355 FEATHER RIVER BLVD.
OROVILLE, CALIFORNIA

STATUS

Current Release Date	02-18-20
Planning Submittal	--
Plan Check Submittal	--

REVISIONS

1	△	
2	△	
3	△	
4	△	
5	△	

IDENTIFICATION

Scale	1/8" = 1'-0"
Project Coordinator	CHRIS WARD
Project No.	19-114
Sheet	

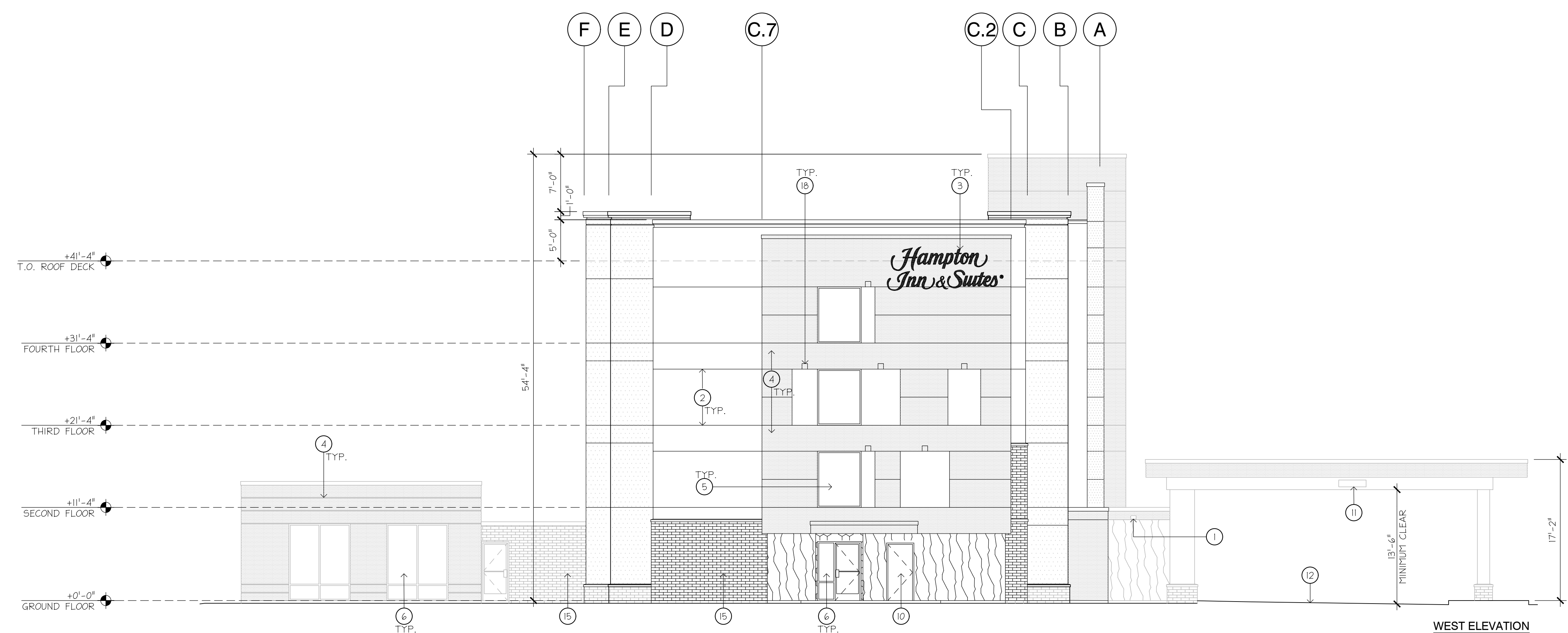
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- BUILT-IN COUNTERS TO BE MINIMUM 24" X 48" AND BE LOCATED BETWEEN 28" - 34" AFF AND MUST HAVE MIN. 17" UNOBSTRUCTED DEEP KNEE AND TOE SPACE THAT IS AT LEAST 30" WIDE. IF STORAGE IS PROVIDED, SUCH AS HOOKS, HANG RODS OR SHELVES, A PORTION MUST BE PROVIDED AT 48" AFF WITH 30" X 48" CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH TO THE STORAGE AREA.
- REFER TO HDG FOR ADDITIONAL REQUIREMENTS FOR PUBLIC SPACES & EQUIPMENT.

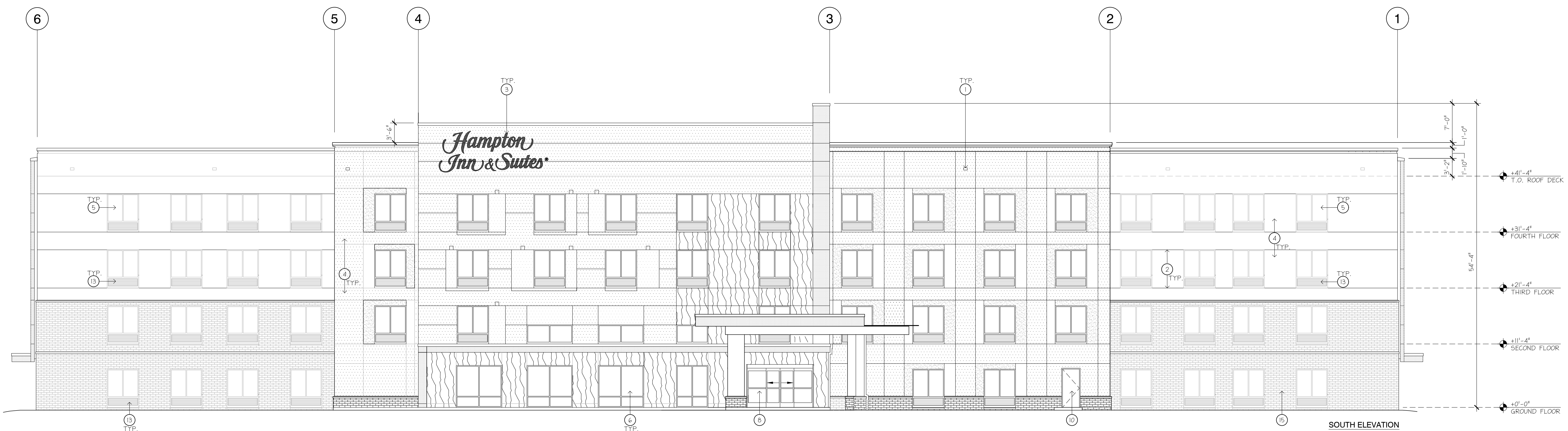
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FOURTH FLOOR PLAN

A-1.3



WEST ELEVATION



SOUTH ELEVATION

GENERAL NOTES	KEY NOTES	COLOR and FINISH LEGEND
<ol style="list-style-type: none"> ALL ROOF TOP EQUIPMENT, PLUMBING, VENTS, CONDENSING UNITS, EXHAUST FANS, BOILER FLUES, ETC. ARE TO BE CONCEALED FROM VIEW BEHIND PARAPET WALLS. DO NOT EXCEED (5) STRUCTURAL BAYS WITHOUT INTRODUCING A VERTICAL ELEMENT (I.E. BUILDING OFFSET, PILASTER, ETC.) 	<ol style="list-style-type: none"> ROOF SCUPPER SEE DETAIL X/AX.00 CONTROL JOINT SIGNAGE - COORDINATE ELECTRICAL REQUIREMENTS AS NEEDED- REFER TO 'BUILDING SIGNAGE' BELOW EXTERIOR INSULATION FINISH SYSTEM PRE-FINISHED ALUMINUM WINDOWS AND LOUVERS, THERMALLY BROKEN FRAME, KYNAR 500 FINISH ALUMINUM STOREFRONT, THERMALLY BROKEN FRAME, KYNAR 500 FINISH PRE-FINISHED METAL LOUVERS AT DRYER VENTS, KYNAR 500 FINISH AUTOMATIC SLIDING DOORS EXTERIOR WALL SCONCE INSULATED HOLLOW METAL DOOR AND FRAME CLEARANCE SIGN SLOPE DRIVE 1:48 MAX (1:64 RECOMMENDED) TO DRAIN OUT FROM UNDER CANOPY. PROVIDE EXTERIOR LOUVERS TO MATCH LOOK OF PTAC-BASED WINDOWS. PROVIDE INSULATED PANEL BEHIND LOUVER AT NON-PTAC LOCATIONS GUEST LAUNDRY THRU WALL VENT FOR OPTIONAL LAUNDRY IF USED HARD SURFACE BASE MATERIAL (MASONRY/TILE) FLAT ROOF ABOVE SMOKING AREA WELCOME SIGNAGE - REFER TO GLOBAL EXTERIOR SIGNAGE SPECIFICATIONS FOR ADDITIONAL INFORMATION. RECESSED LED CAN LIGHT EQUIVALENT TO INTER-LUX MODEL: ORMA R. 55-ER6078-14-60-5 WITH EXTENDED STAINLESS STEEL MOUNTING SCREWS. 	<p>COLOR and FINISH LEGEND</p> <ul style="list-style-type: none"> MASONRY/TILE EIFS COLOR 1 EIFS COLOR 2 EIFS COLOR 3 EIFS COLOR 4 (COLOR TO MATCH WINDOW FRAME) EIFS COLOR 5 ARCHITECTURAL WOOD LOOK PANEL <p>NOTE: ALL EIFS THICKNESS IS 3" UNLESS NOTED OTHERWISE</p>
<p>BUILDING SIGNAGE NOTES</p> <ol style="list-style-type: none"> ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS. MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN. ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT. RACEWAYS / WIREWAYS ARE NOT ALLOWED PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL. GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY. 		

PROJECT
SCHEMATIC DESIGN PLANS FOR:
HAMPTON INN & SUITES
2355 FEATHER RIVER BLVD.
OROVILLE, CALIFORNIA

STATUS

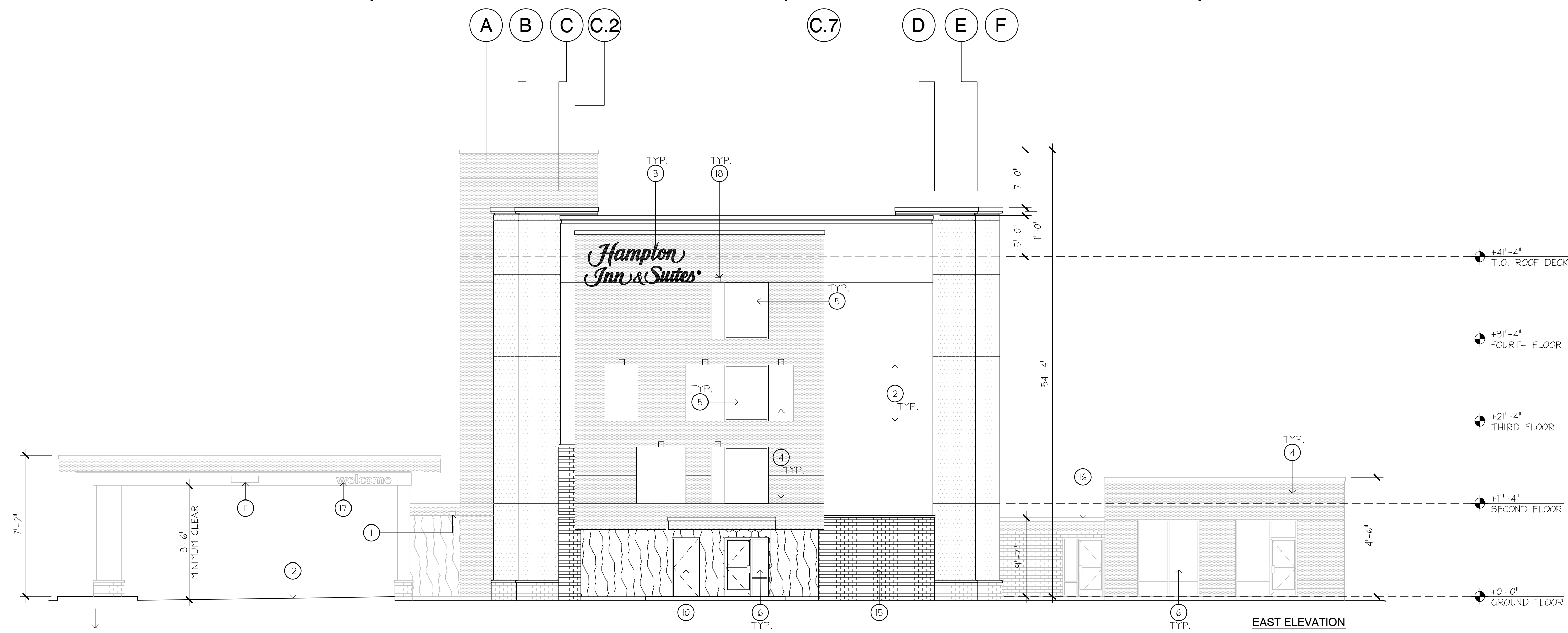
Current Release Date	02-18-20
Planning Submittal	--
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REVISIONS

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3	△	
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IDENTIFICATION

Scale	1/8" = 1'-0"
Project Coordinator	CHRIS WARD
Project No.	19-114
Sheet	A-3.0



GENERAL NOTES		KEY NOTES	COLOR and FINISH LEGEND
<ol style="list-style-type: none"> ALL ROOF TOP EQUIPMENT, PLUMBING, VENTS, CONDENSING UNITS, EXHAUST FANS, BOILER FLUES, ETC. ARE TO BE CONCEALED FROM VIEW BEHIND PARAPET WALLS DO NOT EXCEED (5) STRUCTURAL BAYS WITHOUT INTRODUCING A VERTICAL ELEMENT (I.E. BUILDING OFFSET, PILASTER, ETC.) 		<ol style="list-style-type: none"> ROOF SCUPPER SEE DETAIL X/AX.00 CONTROL JOINT SIGNAGE - COORDINATE ELECTRICAL REQUIREMENTS AS NEEDED- REFER TO 'BUILDING SIGNAGE' BELOW EXTERIOR INSULATION FINISH SYSTEM PRE-FINISHED ALUMINUM WINDOWS AND LOUVERS, THERMALLY BROKEN FRAME, KYNAR 500 FINISH ALUMINUM STOREFRONT, THERMALLY BROKEN FRAME, KYNAR 500 FINISH PRE-FINISHED METAL LOUVERS AT DRYER VENTS, KYNAR 500 FINISH AUTOMATIC SLIDING DOORS EXTERIOR WALL SCOSCE INSULATED HOLLOW METAL DOOR AND FRAME CLEARANCE SIGN SLOPE DRIVE 1:48 MAX (1:64 RECOMMENDED) TO DRAIN OUT FROM UNDER CANOPY. PROVIDE EXTERIOR LOUVERS TO MATCH LOOK OF PTAC-BASED WINDOWS. PROVIDE INSULATED PANEL BEHIND LOUVER AT NON-PTAC LOCATIONS GUEST LAUNDRY THRU WALL VENT FOR OPTIONAL LAUNDRY IF USED HARD SURFACE BASE MATERIAL (MASONRY/TILE) FLAT ROOF ABOVE SMOKING AREA WELCOME SIGNAGE - REFER TO GLOBAL EXTERIOR SIGNAGE SPECIFICATIONS FOR ADDITIONAL INFORMATION. RECESSED LED CAN LIGHT EQUIVALENT TO INTER-LUX MODEL: ORMA R 55-E16098-W-60-5 WITH EXTENDED STAINLESS STEEL MOUNTING SCREWS. 	<p>MASONRY/TILE</p> <p>EIFS COLOR 1</p> <p>EIFS COLOR 2</p> <p>EIFS COLOR 3</p> <p>EIFS COLOR 4 (COLOR TO MATCH WINDOW FRAME)</p> <p>EIFS COLOR 5</p> <p>ARCHITECTURAL WOOD LOOK PANEL</p> <p><small>NOTE: ALL EIFS THICKNESS IS 3" UNLESS NOTED OTHERWISE</small></p>
<p>BUILDING SIGNAGE NOTES</p> <ol style="list-style-type: none"> ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS. MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN. ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT. RACEWAYS / WIREWAYS ARE NOT ALLOWED PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL. GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REPIOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY. 			

PROJECT
SCHEMATIC DESIGN PLANS FOR:
HAMPTON INN & SUITES
2355 FEATHER RIVER BLVD.
OROVILLE, CALIFORNIA

STATUS

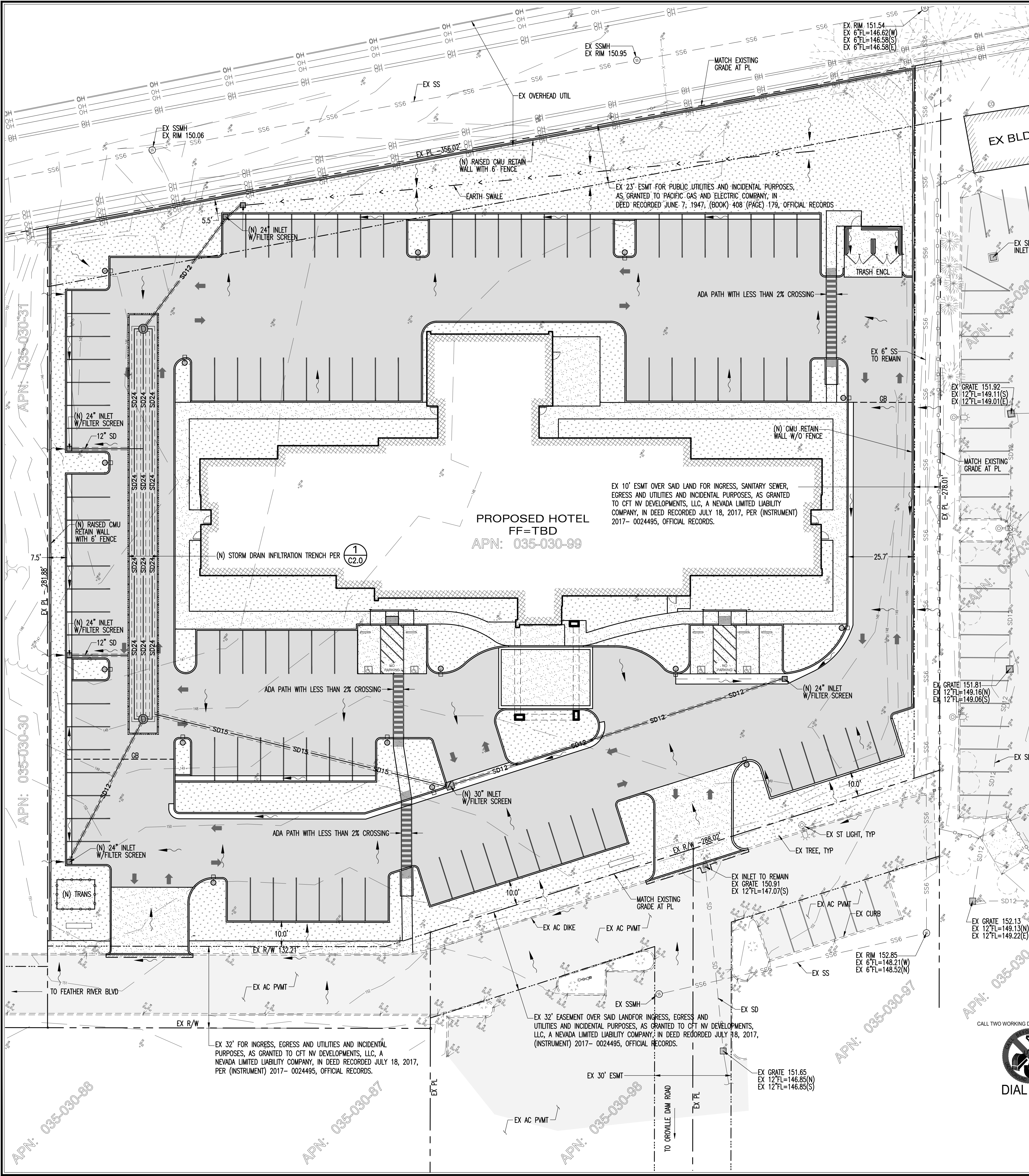
Current Release Date	02-18-20
Planning Submittal	--
Plan Check Submittal	--

REVISIONS

1	▲	
2	▲	
3	▲	
4	▲	
5	▲	

IDENTIFICATION

Scale	1/8" = 1'-0"
Project Coordinator	CHRIS WARD
Project No.	19-114
Sheet	



DUST SUPPRESSION PLAN

1. CONDUCT DAILY CLEANUP. THIS PRACTICE SHALL INCLUDE REMOVAL OF MUD AND DUST CARRIED ONTO STREET SURFACES BY CONSTRUCTION VEHICLES.
2. COVER HAUL TRUCKS WITH TARPULLINS OR OTHER EFFECTIVE COVERS AT ALL TIMES. EXCEPT WHEN LOADING OR UNLOADING MATERIALS.
3. WATER ALL EXPOSED EARTH SURFACES. THIS PRACTICE SHALL BE CONDUCTED AT A MINIMUM IN THE LATE MORNING AND AT THE END OF THE DAY. FURTHER, THE FREQUENCY OF WATERING SHALL INCREASE IF REQUIRED BY THE BUTTE COUNTY AIR POLLUTION CONTROL DISTRICT AND/OR CITY OF OROVILLE DEPARTMENT OF PUBLIC WORKS.
4. ALL CLEARING, GRADING, EARTH-MOVING, OR EXCAVATION ACTIVITIES SHALL CEASE WHEN WINDS EXCEED 15 MPH AVERAGED OVER 1 HOUR.
5. THE AREA DISTURBED BY DEMOLITION, CLEARING, GRADING, EARTH-MOVING, OR EXCAVATION OPERATIONS SHALL BE MINIMIZED AT ALL TIMES.
6. PORTIONS OF THE CONSTRUCTION SITE TO REMAIN INACTIVE LONGER THAN A PERIOD OF 14 DAYS SHALL BE SEEDED AND WATERED UNTIL GRASS COVER IS GROWN.
7. CONCRETE IN ALL ON-SITE PARKING AREAS SHALL BE PLACED AS SOON AS FEASIBLE OR WATERED PERIODICALLY OR CHEMICALLY STABILIZED.
8. THE CONTRACTOR SHALL MINIMIZE CONSTRUCTION-RELATED EXHAUST EMISSIONS TO MINIMIZE SUCH EMISSIONS BY MAINTAINING CONSTRUCTION EQUIPMENT ENGINES IN GOOD CONDITION AND IN PROPER TUNE ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND DURING SMOG SEASON (MAY THROUGH OCTOBER) BY NOT ALLOWING CONSTRUCTION EQUIPMENT TO BE LEFT IDLING FOR LONG PERIODS.
9. RE-VEGETATE AND/OR RE-PAVE EXPOSED SURFACES. THIS SHALL BE COMPLETED AS SOON AS POSSIBLE TO REDUCE DUST EMISSIONS. THE DUST SUPPRESSION PLAN SHALL BE SUBMITTED TO THE COUNTY OF BUTTE DEPT. OF PUBLIC WORKS & DEPT. OF DEVELOPMENT SERVICES FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A GRADING PERMIT.
10. IF NEEDED, WHEEL WASHERS SHALL BE INSTALLED WHERE PROJECT VEHICLES AND/OR EQUIPMENT ENTER AND/OR EXIT ONTO PAVED STREETS FROM UNPAVED ROADS. VEHICLES AND/OR EQUIPMENT SHALL BE WASHED PRIOR TO EACH TRIP IF NEEDED TO CONTROL FUGITIVE DUST.

BEST MANAGEMENT PRACTICES (BMP'S)

- ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE CITY OF OROVILLE STANDARDS AND THE EROSION CONTROL NOTES AS DESCRIBED HEREIN.
1. INTERIM EROSION CONTROL MEASURES MAY BE NEEDED AND SHALL BE INSTALLED DURING CONSTRUCTION TO ASSURE ADEQUATE EROSION CONTROL FACILITIES ARE IN PLACE AT ALL TIMES.
 2. ALL DRAINAGE INLETS IMMEDIATELY DOWNSTREAM OF AND WITHIN THE CONSTRUCTION SITE SHALL BE PROTECTED WITH SEDIMENT CONTROL AND INLET FILTER BAGS.
 3. THE CONTRACTOR MAY PROVIDE CATCH BASIN FILTERS TO HELP REMOVE SEDIMENTS, OIL & GREASE AND HEAVY METALS FROM STORM WATER RUNOFF.
 4. SEDIMENT CONTROL MEASURES SUCH AS STRAW WADDLES SHALL BE PLACED ALONG THE PROJECT PERIMETER WHERE DRAINAGE LEAVES THE PROJECT.
 5. ALL SLOPES GREATER THAN 10% AND LESS THAN 50% THAT ARE FREE OF VEGETATION SHALL HAVE EARTHGUARD APPLIED OR MULCH SPREAD AND TACKED DOWN PRIOR TO A 30% CHANCE OF RAIN.
 6. ALL MULCH MAY BE STRAW OR RICES. ALL MULCH SHOULD BE USED WITH A TACKIFIER.
 7. ALL SANDBAGS MAY BE GRAVEL OR SAND FILLED BAGS.
 8. ANY SOIL MATERIAL CARRIED ONTO STREET SURFACES BY CONSTRUCTION EQUIPMENT SHALL BE REMOVED ON A DAILY BASIS. (BROOM CLEAN- DO NOT USE WATER TO WASH THE STREET).
 9. IF THE CONSTRUCTION SITE IS TO REMAIN INACTIVE LONGER THAN 14 DAYS THE SITE SHALL BE STABILIZED BY APPLYING "EARTH GUARD" OR SEEDED AND WATERED UNTIL GRASS COVER IS GROWN.
 10. INSPECT SEDIMENT CONTROL DEVICES AFTER EACH STORM AND REMOVED SEDIMENT.
 11. HAUL TRUCKS SHALL BE COVERED WITH TARPULLINS OR OTHER EFFECTIVE COVERS AT ALL TIMES.
 12. PRIOR TO PROJECT COMPLETION ALL DISTURBED AREAS MUST BE STABILIZED WITH PERMANENT LANDSCAPING.
 13. INSTALL CONCRETE WASHOUT PER REGIONAL WATER QUALITY CONTROL BOARD STANDARDS. ALLOW WATER TO EVAPORATE AND REMOVE SETTLED, HARDENED CONCRETE TO THE PROPER LOCAL DUMP SITE.

LEGEND - PROPOSED

---	CENTERLINE/SECTION LINE
---	PROPERTY LINE
---	EASEMENT LINE
---	PROPOSED STORM DRAIN
---	SWALE LINE
---	NEW CMU/RETAINING WALL

SHEET NUMBER

C1.0
C2.0

DESCRIPTION

PRELIMINARY GRADING & DRAINAGE PLAN
DETAILS

PROPERTY INFORMATION

OWNER: BEST WESTERN INTERNATIONAL
300 HARVEST SKY COURT
ROSEVILLE, CA 95747
916-410-0202

SITE ADDRESS: 2355 FEATHER RIVER BLVD
OROVILLE, CA 95965

APN: 035-030-022, AREA: 2.46 ACRES (107,158 SF)

ABBREVIATIONS

AC	ASPHALT CONCRETE	FS	FINISHED SURFACE	PRC	POINT OF REVERSE CURVATURE
BC	BEGIN CURVATURE	FW	FIRE WATER	PVI	PUBLIC UTILITY EASEMENT
BVC	BEGIN VERTICAL CURVATURE	FWM	FIRE WATER MAIN	PVT	POINT OF VERTICAL INTERSECTION
BVE	BEGIN VERTICAL CURVATURE ELEVATION	FWS	FIRE WATER SERVICE	PWP	PAVEMENT
BM	BENCHMARK	FWSL	FIRE WATER SERVICE LINE	RCP	REINFORCED CONCRETE PIPE
BO	BLOW OFF	GB	GRADE BREAK	RDCR	REDUCER
BOC	BOTTOM OF CURB	GR	GRATE ELEVATION	RET	RETAINING
C	CONCRETE	GRC	GRATE CURB CONDUIT	RIP	REDUCE PRESSURE BACKFLOW ASSEMBLY
CL	CENTERLINE	GSS	GRAY SANITARY SEWER	RW	RIGHT-OF-WAY
CLR	CURB RETURN	GSSMH	GRAY SANITARY SEWER MANHOLE	SD	SLOPE
CR	DETECTOR CHECK	H	HOUSE BRANCH	SDM	STORM DRAIN
CR	DETECTOR CHECK	HL	HINGE LINE	SDMH	STORM DRAIN MANHOLE
DW	DOMESTIC WATER SERVICE LATERAL	IE	INVERT ELEVATION	SE	SUPERELEVATION
DI	DRAIN INLET	IRR	IRRIGATION	SS	SUBGRADE
DW	DOMESTIC WATER MAIN	IRW	IRRIGATION WATER	SL	STREET LIGHT
DWS	DOMESTIC WATER SERVICE	LE	LANDSCAPE EASEMENT	SSMH	SANITARY SEWER MANHOLE
EC	EXISTING CURVATURE	LG	LIP OF GUTTER	ST	STREET
EG	EXISTING GRADE	LT	LIGHT	SW	SIDEWALK
EP	EDGE OF PAVEMENT	MH	MANHOLE	TC	TOP OF CURB/CONC
ESMT	EASEMENT	MS	MOW STRIP	TD	TOP OF DIKE
EVCS	END VERTICAL CURVATURE STATION	MTR	METER	TF	TOP OF FOOTING
EX	EXISTING	NC	NOT INCLUDED	TW	TOP OF WEDGED CURB
EX(E)	EXISTING	NF	NON-POTABLE WATER	TWC	TOP OF WOOD DECK
(F)	FINISHED CONCRETE	OD	OUTSIDE DIAMETER	UNO	UNLESS NOTED OTHERWISE
(F)UT	FUTURE	OC	ORIGINAL GROUND	UP	UTILITY POLE
FDC	FIRE DEPARTMENT CONNECTION	OS	OFFSET	VC	VALLEY GUTTER
FES	FINISHED FLOOR	P	PAVEMENT	VM	WATER METER
FG	FINISHED GRADE	PE	PEDESTRIAN EASEMENT	WV	WATER VALVE
FH	FIRE HYDRANT	PE	PEDESTRIAN EASEMENT	WV	WATER VALVE
FL	FIBER OPTIC	PV	POST INDICATING VALVE	WV	WATER VALVE
FP	FINISHED PAD	PL	PROPERTY LINE	WV	WATER VALVE
		POC	POINT OF CONNECTION	WCR	WHEELCHAIR RAMP
				WTR	WATER

LEGEND - EXISTING

NOTE: NOT ALL EXISTING SYMBOLS IN PLANS MAY BE SHOWN HERE.

W12	EX WATER MAIN & PIPE SIZE	SM	EX STORM DRAIN MANHOLE
SS12	EX SANITARY SEWER & PIPE SIZE	SMH	EX SEWER MANHOLE
SD15	EX STORM DRAIN & PIPE SIZE	ULP	EX UTILITY POLE
C	EX BURIED COMMUNICATION LINE	FH	EX FIRE HYDRANT
T	EX BURIED TELEPHONE LINE	WM	EX WATER METER
E	EX BURIED ELECTRICAL LINE	WV	EX WATER VALVE
G	EX BURIED GAS PIPE	CF	EX CHAINLINK FENCING
IRP 30	EX BURIED IRRIGATION & PIPE SIZE	IF	EX IRON FENCING
OH	EX OVERHEAD UTILITY	CSL	EX CENTERLINE/SECTION LINE
FO	EX BURIED FIBER OPTICS	PL	EX PROPERTY LINE
LUU	EX UNKNOWN UTILITY TYPE	EA	EX EASEMENT LINE
GM	EX GAS METER	AC	EX ACQUISITION OF ACCESS
SC	EX SEWER CLEANOUT	CON	EX CONCRETE
SI	EX SIGNAGE	ASP	EX ASPHALT PAVEMENT
TE	EX TELEPHONE PEDestal/BOX	MB	EX MAILBOX
EB	EX ELECTRICAL PULL BOX	BW	EX BLOCK WALL
EV	EX ELECTRICAL VAULT	CI	EX CURB INLET
PM	EX ELECTRICAL PAD MOUNTED	CG	EX CURB & GUTTER
GW	EX GUY WIRE		

BENCHMARKS

THE BENCHMARK USED FOR THIS PROJECT IS THE CITY OF OROVILLE BENCHMARK #95 LOCATED IN A TRIANGLE ISLAND AT THE NORTH WEST CORNER OF FEATHER RIVER BOULEVARD AND ORO DAM BOULEVARD DESIGNATION TT 21 C.

ELEVATION = 160.00 NAVD83 DATUM.

FLOODPLAN

THE PROJECT IS LOCATED WITHIN FEMA PANEL 060070980E, EFFECTIVE ON 01/06/2011

STORM WATER MANAGEMENT

ALL ON-SITE STORM WATER SHALL BE DISPOSED OF ON-SITE BY MEANS OF PERCOLATION TO MEET THE 5-YEAR STORM. STORM WATER IN EXCESS OF THE DESIGN INFILTRATION RATE SHALL BE DESIGNED TO BREAKOVER OFF-SITE TO EXISTING DRAINAGE PATTERNS. A SITE SPECIFIC STORM WATER DESIGN WILL BE PREPARED AT THE TIME OF CONSTRUCTION DOCUMENT SUBMITTAL.

SOIL REPORT

CONSTRUCTION SHALL CONFORM TO THE SOILS REPORT PREPARED BY CGI TECHNICAL SERVICE, INC. DATED XXXXXX. THE CONTRACTOR IS TO NOTIFY THE ENGINEER IMMEDIATELY IF SOILS DIFFERING IN CHARACTER OR STRUCTURE FROM THE REPORT ARE FOUND TO BE PRESENT ON THE SITE.



CALL TWO WORKING DAYS BEFORE YOU DIG!

NOTE: CONTRACTOR SHALL VERIFY EXACT LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTACT UNDERGROUND SERVICES ALERT TO LOCATE EXISTING UTILITIES 48 HOURS PRIOR TO CONSTRUCTION AT 811.

SCALE: 1" = 20'

20 0 20

NOT FOR CONSTRUCTION

HAMPTON INN & SUITES

PRELIMINARY GRADING AND DRAINAGE PLAN

2355 FEATHER RIVER BLVD
OROVILLE, CA 95965

LORE ENGINEERING, INC.
CIVIL ENGINEERING • CONSULTING • PLANNING
620 DEWITT AVENUE, SUITE 101
CLOVIS, CA 93612
EMAIL: HAL@LORE-ENGINEERING.COM • WWW.LORE-ENGINEERING.COM
(559) 297-5500 TEL
(559) 297-5205 FAX

JOB: MMD.1901
SHEET NO: **C1.0**
SHEET 1 OF 2
DATE: 02/12/20
DESIGNED BY: HML
DRAWN BY: GNX
CHECKED BY: HML

REV NO | DATE | DESCRIPTION

GRADING PERMIT: | DEVELOPMENT PERMIT: SPR 8107

APN: 035-030-88

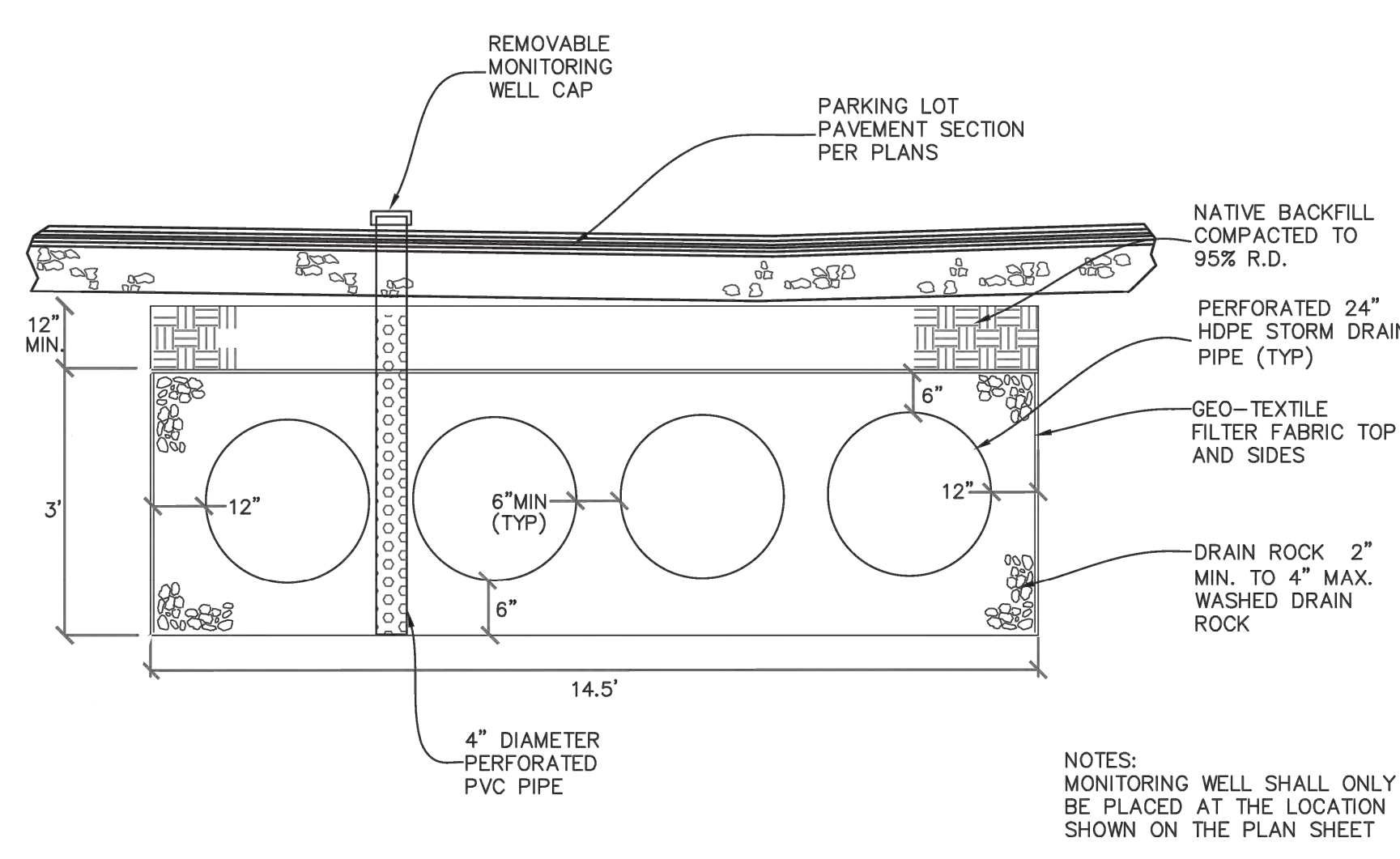
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APN: 035-030-98

APN: 035-030-99

APN: 035-030-97

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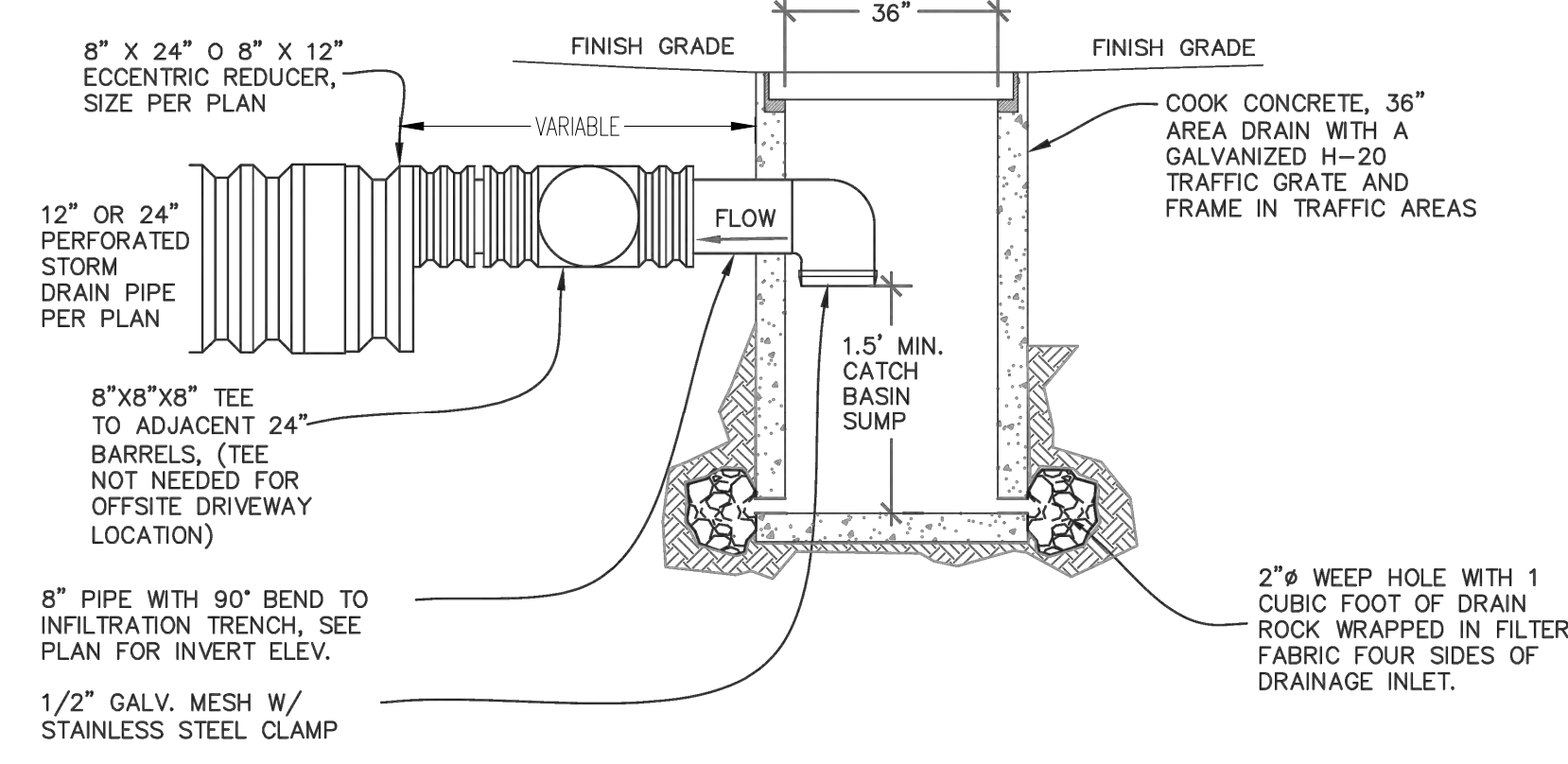


NOTE: SITE SPECIFIC SIZE TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENT SUBMITTAL

PRELIMINARY STORM WATER INFILTRATION TRENCH

NTS

1

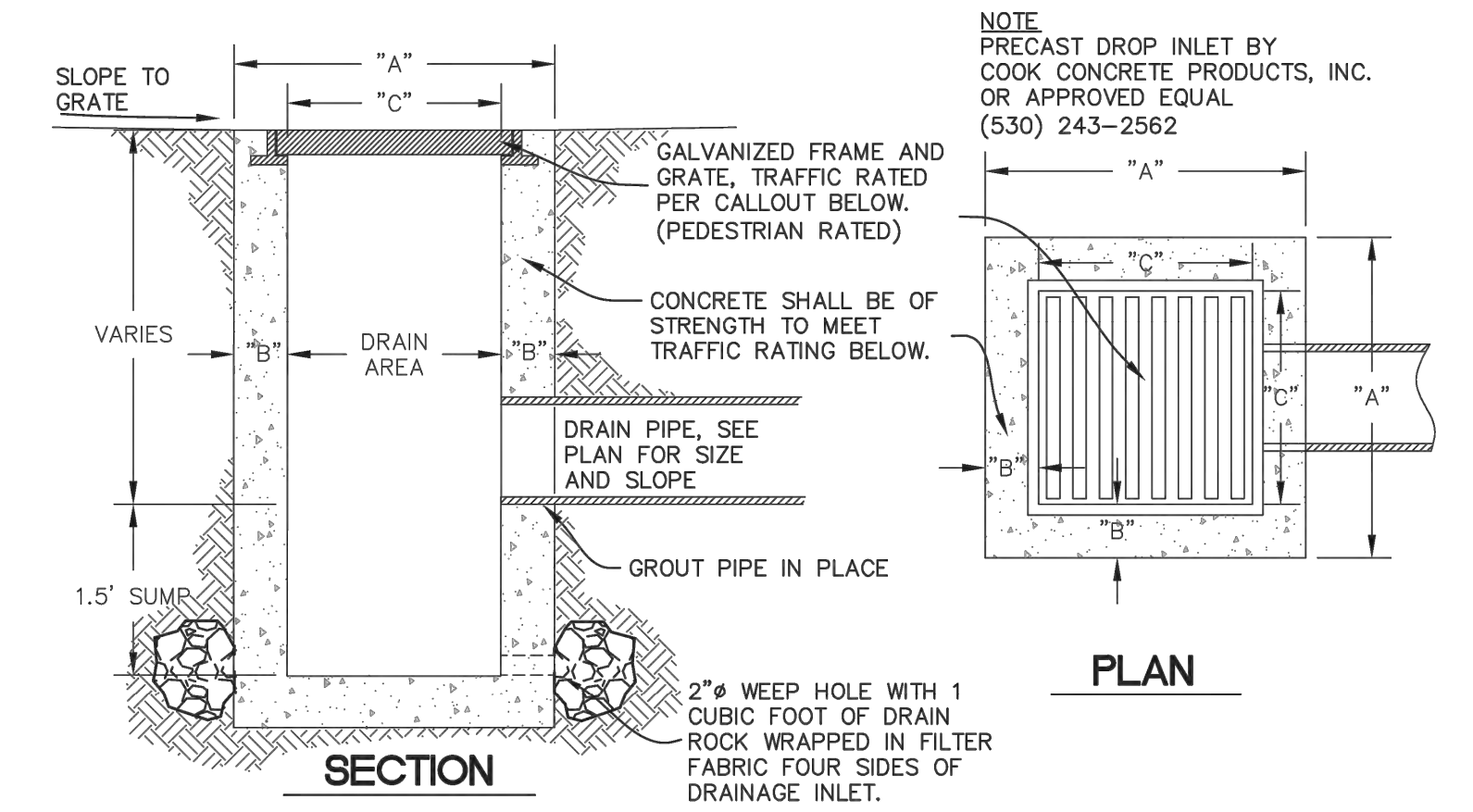


NOTE: SITE SPECIFIC SIZE TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENT SUBMITTAL

TYPICAL STORM DRAIN INLET TO FILTRATION TRENCH

NTS

2



SIZE	BOX "A"	WALL "B"	GRATE "C"	TRAFFIC RATING
12"x12"	20"	4"	12"	H20
18"x18"	30"	6"	18"	H20
24"x24"	36"	6"	24"	H20
36"x36"	48"	6"	36"	H20

(DESIGNATED PER GRATE SIZE ON PLAN)

TYPICAL 12' & 18' & 24" FLAT GRATE DRAINAGE INLET

NTS

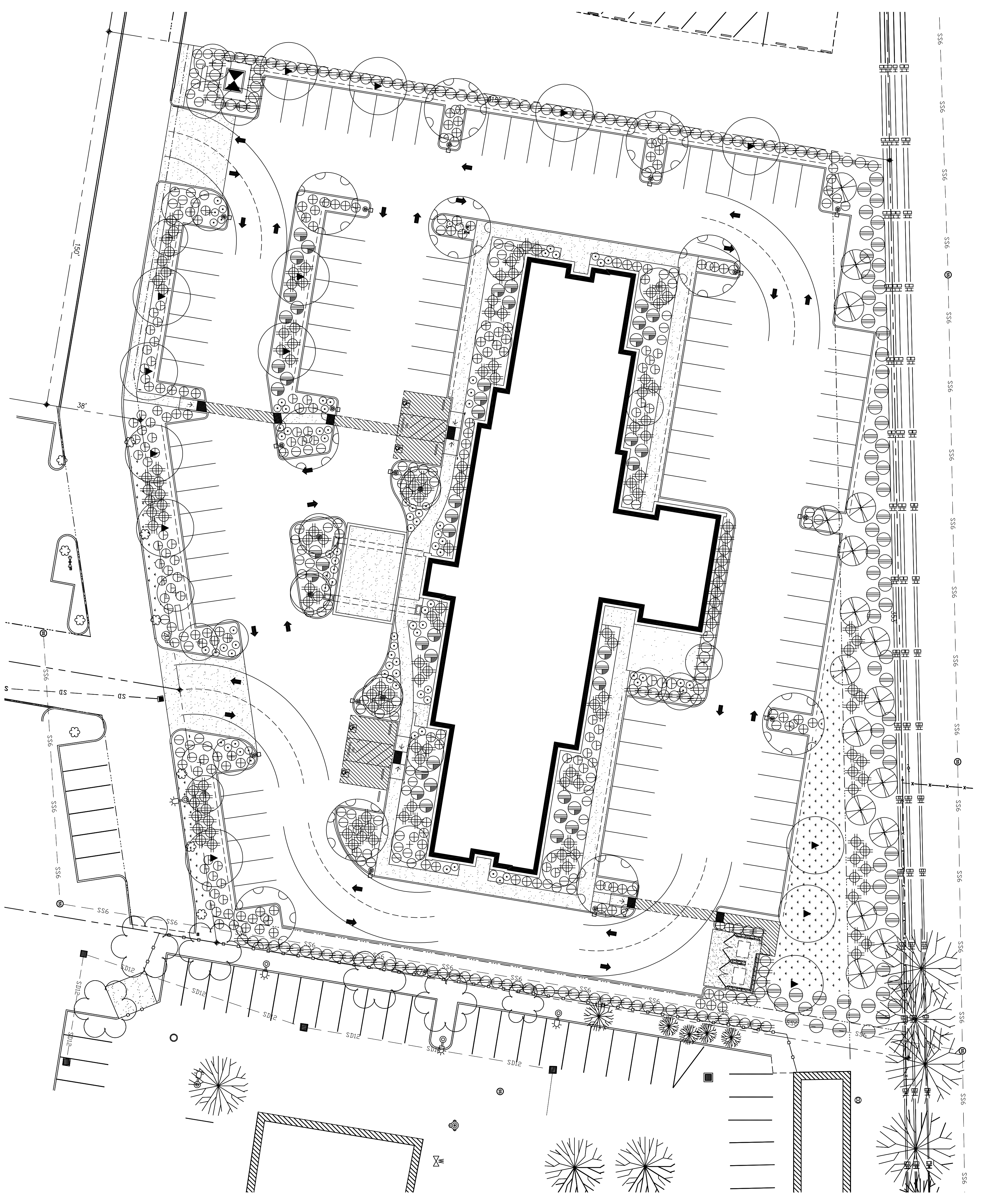
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HAMPTON INN & SUITES

MISCELLANEOUS DETAILS

2355 FEATHER RIVER BLVD
OROVILLE, CA 95965

LORE ENGINEERING, INC. CIVIL ENGINEERING • CONSULTING • PLANNING 620 DEWITT AVENUE, SUITE 101 CLOVIS, CA 93612 (559) 297-5200 TEL (559) 297-5205 FAX EMAIL: HAL@LORE-ENGINEERING.COM WWW.LORE-ENGINEERING.COM	JOB: MMD.1901 SHEET NO: C2.0 SHEET 2 OF 2 DATE: 02/12/20 DESIGNED BY: HML DRAWN BY: GNX CHECKED BY: HML
	GRADING PERMIT: _____ DEVELOPMENT PERMIT: SPR 8107



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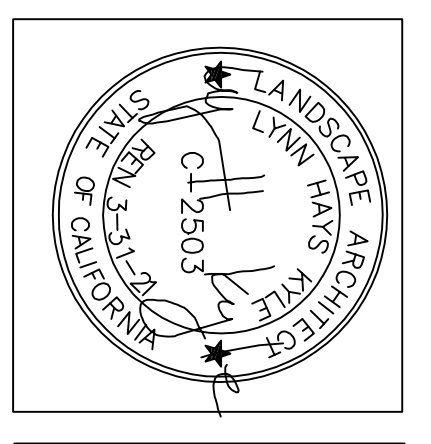
PLANT LIST

TREES	KEY	DESCRIPTION	MATURE VALUE
	▲	ULMUS WILSONIANA 'PROSPECTOR'	LOW
	○	15 GAL PROSPECT ELM	LOW
	●	ARBUTUS MARINA	LOW
	○	24" BOX STRAWBERRY TREE	LOW
	○	PISTACHIA CHINENSIS 'KEITH DAVEY'	LOW
	○	15 GAL CHINESE PISTACHE	LOW
	+	LAGERSTROEMIA 'MUSKOGEE'	LOW
	+	15 GAL GRAPE MYRTLE	LOW
	⊗	CERCIS OCCIDENTALIS	LOW
	⊗	15 GAL WESTERN REDBUD	LOW

SHRUBS & GROUND COVERS

KEY	DESCRIPTION	MATURE VALUE
⊖	LIGUSTRUM JAPONICA 'TEXANUM'	LOW
⊖	5 GAL TEXAS PRIVET	LOW
⊖	EVERGREEN HEDGE	LOW
⊕	GALLISTEMON 'LITTLE JOHN'	LOW
⊕	5 GAL DWARF BOTTLEBRUSH	LOW
⊖	LANTANA M. 'LAVENDER SWIRL'	LOW
⊖	1 GAL LANTANA	LOW
⊖	SALVIA MICROPHYLLA 'BERKELEY'	LOW
⊖	5 GAL SAGE	LOW
⊖	GREVILLEA 'NOELI'	LOW
⊖	5 GAL GREVILLEA	LOW
⊕	OSTIUS SALVIFOLIUS	LOW
⊕	5 GAL SAGELEAF ROCKROSE	LOW
⊖	MULLENBERGIA CAPILLARIS	LOW
⊖	5 GAL PINK WUPLY	LOW
⊖	PHORBIUM TENAX 'RADIANCE'	LOW
⊖	5 GAL NEW ZEALAND FLAX	LOW
⊖	MYOPORUM 'PUTAH CREEK'	LOW
⊖	1 GAL MYOPORUM	LOW

TOTAL LANDSCAPE AREA = 25,400 SQ. FT.



LYNN HAYS KYLE
Landscape Architect
10471 Ferguson Rd.
Clovis, CA 93269
Ph: (559)298-4014
Calif. License #25503



LANDSCAPE PLAN

PROJECT

SCHEMATIC DESIGN PLANS FOR:
HAMPTON INN & SUITES
2355 FEATHER RIVER BLVD.
OROVILLE, CALIFORNIA

STATUS

Current Release Date: 12-12-18
Planning Submittal: ---
Plan Check Submittal: ---

REVISIONS

1	△	
1	△	
1	△	

IDENTIFICATION

Scale: 1" = 20'0"

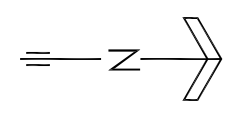
Project Coordinator: CHRIS MARD

Project No.: 19-114

Sheet: 1-1

CENTERLINE DESIGN LLC

PLANNING - DESIGN - CONSULTING
1808 TOLLHOUSE ROAD, SUITE C-
CLOVIS, CALIFORNIA 95311
559-298-3267 (PH)
559-298-3267 (FAX)



IRRIGATION LEGEND	
KEY	DESCRIPTION
	NETAFM DRIP CONTROL ZONE
	1" SIZE MODEL #V02
	NETAFM FLUSH VALVE
	MODEL # TISOV AIR/VACUUM RELIEF VENT (AS NEEDED)
	GATE VALVE - LINE SIZE W/ VALVE BOX
	IRRITROL MC-12E IRR. CLOCK WALL MOUNT - 12 STATION
	FEBCO SERIES 825Y REDUCED BACKFLOW PREVENTER 1 1/2"
	MAINLINE IRRIGATION PIPE PVC SCH 40 SIZES ON PLAN
	LATERAL LINES CLASS 200 SIZES SHOWN ON SCHEDULE
	NETAFM CV TECHLINE TUBING 6 GPH, 18" EMITTER SPACING TUBING SPACED 18" O.C.

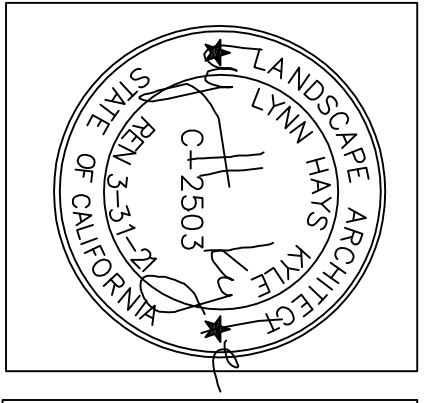
1 INDICATES STATION & CLOCK
 10 INDICATES GPM @ VALVE

PIPE SCHEDULE

LATERAL LINES	PIPE SIZE	GPM
1/2"	1 TO 3	4 TO 9
3/4"	4 TO 9	10 TO 16
1"	10 TO 16	17 TO 25
1 1/4"	17 TO 25	

NOTE:


ALL IRR. PIPE UNDER PAVEMENT TO BE PLACED IN SCH 40 PVC SLEEVES - 2x THE DIA. INSTALL IRR. PIPE IN SHRUB BEDS WHEN POSSIBLE
 NETAfM - SUBSURFACE INSTALLATION BURY TUBING 4" TO 6" UNDER TOP OF SOIL
 LANDSCAPE CONTRACTOR TO INSTALL HUNTER REMOTE SOLAR SYNC WEATHER STATION NEAR CONTROLLER
 LANDSCAPE CONTRACTOR TO INSTALL HUNTER "ECO-ID" ECO-INDICATOR AT THE END OF THE DRIP LINE FOR EACH VALVE



LYNN HAYS KYLE
 Landscape Architect
 10471 Ferguson Rd.
 Clovis, CA 93269
 Ph: (559) 298-4014
 Calif. License #2503



IRRIGATION PLAN



CENTERLINE DESIGN, LLC
 PLANNING - DESIGN - CONSULTING
 1568 TOLLHOUSE ROAD SUITE C
 CLOVIS, CALIFORNIA 93217
 559-298-3893 (OFFICE)
 559-298-9888 (FAX)

PROJECT

**SCHEMATIC DESIGN PLANS FOR:
 HAMPTON INN & SUITES
 2355 FEATHER RIVER BLVD.
 OROVILLE, CALIFORNIA**

STATUS

Current Release Date	12-17-18
Planning Submittal	
Plan Check Submittal	

REVISIONS

No.	Description

IDENTIFICATION

Scale	1" = 20'0"
Project Coordinator	CHRIS WARD
Project No.	19-114
Sheet	L-2

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RESOLUTION NO. P2020-02

A RESOLUTION OF THE OROVILLE CITY PLANNING COMMISSION MAKING FINDINGS AND CONDITIONALLY APPROVING USE PERMIT #20-02 FOR A NEW 86-ROOM HAMPTON INN HOTEL WITH ON SITE ALCOHOL SALES AT 2355 FEATHER RIVER BOULEVARD

WHEREAS, the City of Oroville staff recommends approving a new 86-room hotel; and

WHEREAS, per the City of Oroville Municipal Code (OMC), property at the proposed location of a new hotel has a zoning designation of Corridor Mixed Use (MXC); and

WHEREAS, pursuant to Section (OMC) Table 17.34.020-1, hotels and alcohol sales both require a Use Permit in the MXC Zone, which requires Planning Commission approval. As a condition of approval, the applicant will be required to comply with all requirements of the City's Zoning Code as found in the OMC Chapter 17, including, but not limited to, development standards, permit requirements and development review; and

WHEREAS, at a duly noticed public hearing, the Planning Commission considered the comments and concerns of public agencies, property owners, and members of the public who are potentially affected by the approval of the use permit and project described herein, and also considered the City's staff report regarding the use.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION as follows:

1. This action has been determined to be exempt from the California Environmental Quality Act (CEQA) review pursuant to Title 14, California Code of Regulations, Section 15332 "Infill Development Projects" and 15061(b)(3) "General Rule Exemption."
2. The Planning Commission approves the findings required by Section 17.48.010.E.4 and 17.16.160 of the Oroville City Code, as described in this Resolution;
3. The following conditions of approval have been deemed necessary to achieve the purpose of the Zoning Code and to promote the general health, safety and public welfare of the City.

Required Findings for a Use Permit (OMC 17.48.010.E.4)

- a) The granting of the permit will not be incompatible with or detrimental to the general health, safety or public welfare of the surrounding area or of the city as a whole. *The project will be in a location already fully developed with a long history as a similar use, and which is surrounded by commercial development.;*
- b) The proposed use follows sound principles of land use by having a suitable location relative to the community as a whole, as well as to transportation facilities, public services and other land uses in the vicinity. *The proposed use will provide a desired commercial product that matches the City's desired development pattern;*
- c) Public utilities and facilities, including streets and highways, water and sanitation, are adequate to serve the proposed use or will be made adequate prior to the establishment of the proposed use. *All infrastructure is in and available;*
- d) The location, size, design and operating characteristics of the proposed use will be harmonious and compatible with the surrounding neighborhood and will not adversely affect abutting properties. *All surrounding properties are also freeway-oriented commercial and will not be adversely affected. The proposed use is compatible with the surrounding neighborhood by virtue of the type of use, which includes most of the City's other hotel properties;*
- e) The subject site is physically suitable for the type and intensity of land use being proposed. *Applicant has submitted a set of drawings demonstrating that the site is physically suitable for the proposed type and intensity of use. The site will provide adequate capacity for the use;*
- f) The size, intensity and location of the proposed use will provide services that are necessary or desirable for the neighborhood and community as a whole. *Hampton Suites is a desirable and respected upper Midscale hotel brand, and will offer the traveler and local citizens alike additional opportunities for overnight stays;*
- g) The permit complies with all applicable laws and regulations, including the requirements of the general plan, of this title and of the city municipal code. *The use is permitted, subject to a use permit, and is compatible with the General Plan, Zoning codes, and the Oroville Municipal Code.*

Required Findings for Alcohol Sales (OMC 17.16.160)

Before approving a use permit for alcohol sales, the Planning Commission must consider each of the following issues and make appropriate findings (Staff's comments are in *italics*, *draft findings are in the Resolution*):

1. The nature of all land uses within 500 feet of the proposed alcoholic beverage sales, and in particular, the location of similar nearby uses and the location of residences, parks, schools and houses of worship.

The project is immediately adjacent to the Highway 70 Oro Dam Blvd. offramp, and is close to many similar retail, gasoline and food stores, and since this location has always been envisioned for a similar use, the project does not generate additional concern. The project is not near any residential or assembly uses;

- 2. Appropriate measures to provide proper maintenance of the building exterior, including provisions to keep the premises free of litter and debris.

This requirement is added to the project conditions, and applicant has the reputation for clean and well-managed operations;

- 3. Lighting of exterior areas, including parking lots, to discourage loitering outside of the building.

This requirement is added to the project conditions and appropriate plans have been provided

- 4. Protection of adjacent properties from noise, odors and undue light and glare, as well as illegal activity.

This requirement is added to the project conditions

- 5. Provision of onsite security, both inside and outside the building, to satisfy any concerns raised by the chief of police.

This requirement is added to the project conditions

- 6. Hours of operation.

Applicant intends a 24-hour operation, and will be limited by State law to the hours of alcohol sales being between 6am and 2am daily.

- 7. Controls on occupancy limits inside of the building and loitering outside of the building.

This requirement is added to the project conditions

- 8. Prevention of adverse effect of the use on the value of adjacent properties.

As part of an intensive commercial area, this establishment is likely to enhance the patronage and thus the value of adjacent properties;

- 9. Whether approval would result in an undue concentration of these uses, and whether public convenience or necessity would mitigate the issue of undue concentration.

The Police Department and ABC determine if there is an undue concentration in the area. At this time there is no indication of an overconcentration.

CONDITIONS OF APPROVAL

Approved project: The project applicant, Valley Star Partners, LLC, has applied for a use permit (UP 20-02) for construction of a new 86-room, 4-story, 55,253 square foot hotel on APN 035-030-099. The property is near the northwest corner of Oro Dam

Boulevard (SR162) and Feather River Boulevard. The property has a zoning land use designation of Corridor Mixed Use (MXC). The proposed hotel and its associated on-site alcohol sales requires a Use Permit in a MXC district. The intended hours of operation are 24 hours.

The Planning Commission hereby approves UP 20-02, subject to the following:

General Conditions

1. The applicant shall hold harmless the City, its Council members, Planning Commissioners, officers, agents, employees, and representatives from liability for any award, damages, costs, and/or fees incurred by the City and/or awarded to any plaintiff in an action challenging the validity of this permit or any environmental or other documentation related to approval of this permit. Applicant further agrees to provide a defense for the City in any such action.
2. The project shall remain in substantial conformance with the Conditions of Approval, as adopted by the Oroville Planning Commission. Any subsequent minor changes in the project (as determined by the Zoning Administrator) may only occur subject to appropriate City review and approval. Any subsequent substantive changes in the project (as determined by the Zoning Administrator) may only occur subject to discretionary review by the Oroville Planning Commission.
3. The applicants shall have a current City of Oroville business license and any other applicable permit/license that may be required as part of their business operations.
4. Pursuant to Section 17.12.010, the proposed use of the site shall conform to the performance standards of the Oroville Municipal Code to minimize any potential negative effects that the building, structure, lighting or use could have on its surroundings, and to promote compatibility with surrounding uses and areas.
5. The applicant shall ascertain and comply with all requirements of the Butte County Environmental Health Department.
6. Applicable construction plans, calculations, specifications, applications, forms, etc. shall be submitted to the Building Division for review prior to the start of any construction activities requiring a building permit. All applicable plan review and impact fees shall be paid at time of submittal.
7. All applicable development impact fees shall be paid prior to issuance of a building permit.
8. The applicant shall ascertain and comply with the requirements of all City, County, State, Federal, and other local agencies as applicable to the proposed project.
9. All grading, paving, excavation and site clearance, including that which is exempt from obtaining a permit, shall be performed in conformance with the City's Engineering Design Standards; the Municipal Code; the requirements of the State Regional Water Quality Control Board; and any other applicable local, state and federal requirements.

10. The project shall comply with the City's noise ordinance as found in the OMC Chapter 9.20.
11. All construction projects are required to implement dust control measures to reduce particulate matter emissions due to disturbance of exposed top-soils, such as watering of active areas where disturbance occurs, covering haul loads, maintaining clean access roads, and cleaning the wheels of construction vehicles accessing disturbed areas of the site.
12. All grading and paving shall be conducted in compliance with the Butte County Air Quality Management District's Indirect Source Guidelines, in order to prevent degradation of ambient air quality.
13. Pursuant to Section 17.12.050(L), the property owner shall enter into a written agreement for the installation and maintenance of landscaping. The agreement shall be in a form approved by the City Attorney and Zoning Administrator and suitable for recordation with the Butte County recorder. The agreement shall be binding upon the property owner and any successors in interest.
14. Pursuant to Section 17.08.135, the project shall install public art on the project site in a public place as approved by the City Council. The cost of the public art must be equal to at least one percent (1%) of the estimated construction costs. The developer has the option to opt out of this requirement and instead pay the equivalent in lieu fee which shall be a one percent (1%) fee of the estimated construction costs.
15. Pursuant to Section 17.48.010(F) of the City Code, the Planning Commission, upon its own motion, may modify or revoke any use permit that has been granted pursuant to the provisions of this section upon finding any of the following, based on substantial evidence:
 - a. Any of the conditions of the permit have not been satisfied within 1 year after it was granted.
 - b. Any of the terms or conditions of the permit have been violated.
 - c. A law, including any requirement in the Municipal Code Chapter 26, has been violated in connection with the permit.
 - d. The permit was obtained by fraud.
16. Applicant hereby certifies that any and all statements and information provided as part of the application are true and correct to the best of their knowledge and belief. Any misinformation provided, whether intentional or unintentional, that was considered in the issuance of this permit may be grounds for revocation.

Project-specific conditions

17. This project is subject to "State Water Resources Control Board Water Quality Order No. 2013-001-DWQ NPDES General Permit No. CAS000004 Waste Discharge Requirements (WDRs) for Storm Water Discharges from Small

Municipal Separate Storm Sewer Systems” (aka MS4 General Permit). Specifically, Section E.12. Post Construction Storm Water Management.

18. All storm water must be retained on site or conveyed to an appropriate conveyance.
19. A sewer capacity study and executed sewer capacity agreement must be completed prior to construction.
20. To ensure uncongested traffic flow and safe ingress/egress on Feather River Boulevard, applicant shall widen the pavement in the public right of way fronting the vacant lot between the Arco and the end of sidewalk (i.e. fire hydrant), and taper of the driveway (per County Standard S-18B). Curb and gutter not required. The extent of paving and any cost sharing to be developed in discussions with the City Engineer.
21. Any driveway and/or sidewalk improvements in the Caltrans Right of Way on Oro Dam Blvd/SR 162 are subject to an encroachment permit, design requirements, and or other conditions Caltrans may require.
22. The Planning Commission has not reviewed or approved the sign program for the project, which must be submitted for separate Development Review per OMC 17.20.040.
23. Landscaping and water management plans and installations must be approved prior to occupancy;
24. Applicant shall sell beer and wine only for on-site consumption, and not for consumption off the premises;
25. Applicant shall obtain the appropriate alcohol sales license from the California Department of Alcohol Beverage Control (ABC);
26. Knox Box access shall be provided to the Fire Department as appropriate.
27. Applicant will take appropriate measures to provide proper maintenance of the building exterior, including provisions to keep the premises free of litter and debris;
28. Applicant and/or property owner shall ensure adequate lighting of exterior areas, including parking lots, to discourage loitering outside of the building;
29. Applicant will ensure protection of adjacent properties from noise, odors and undue light and glare, as well as illegal activity;
30. Applicant will maintain adequate onsite security, both inside and outside the building, to satisfy any concerns raised by the chief of police or general public. Substantial camera surveillance and employee training will suffice;
31. If federal, state, or local law eventually requires an electric or fuel cell charging station, applicant will make such a station available.

--- End of Conditions ---

I HEREBY CERTIFY that the foregoing resolution was duly introduced and passed at a regular meeting of the Planning Commission of the City of Oroville held on the 23^d of April 2020, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

ATTEST:

APPROVE:

JACKIE GLOVER,
ASSISTANT CITY CLERK

CARL DURLING,
CHAIRPERSON



City of Oroville

COMMUNITY DEVELOPMENT DEPARTMENT

1735 Montgomery Street
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www.cityoforoville.org

Leonard Item 1.
DIRECTOR

Page 1 of 3

DEVELOPMENT REVIEW COMMITTEE PROJECT REVIEW COMMENTS

PROJECT: HAMPTON INN AND SUITES

FILE: PL2003-002

DEPARTMENTS IN ATTENDANCE:

DATE: 3/18/2020

- | | | | |
|--|---|--|--|
| <input type="checkbox"/> BUILDING DIVISION | <input type="checkbox"/> BUSINESS ASSISTANCE & HOUSING DEPARTMENT | <input checked="" type="checkbox"/> OROVILLE FIRE DEPARTMENT | <input type="checkbox"/> OROVILLE POLICE DEPARTMENT |
| <input checked="" type="checkbox"/> PUBLIC WORKS | <input type="checkbox"/> _____
WATER DISTRICT | <input type="checkbox"/> LAFCO | <input checked="" type="checkbox"/> <u>Parks and Trees</u> |
| <input checked="" type="checkbox"/> PLANNING | <input type="checkbox"/> BUTTE COUNTY ENVIRONMENTAL HEALTH | <input type="checkbox"/> ECONOMIC DEVELOPMENT | <input type="checkbox"/> _____ |

DEPARTMENT

COMMENTS

Planning

- ADA path of travel to property line is acceptable
- Signage size and types has not been specified. We will need to know the area and height of signs to ensure compliance with our sign ordinance. The maximum height for a freestanding sign is 60ft with Planning Commission approval, and up to 85ft with a variance.
- Possibility of adding to the existing 85ft Starbucks/Panda sign and Oro Dam monument sign in the "future tenant" space.
- We will need lighting plans/information to ensure compliance with the City's code.
- Design of the building look good. Man door has been added to the trash enclosure
- Show intended fencing along the back of the property and around the back patio.
- 1% Art fee; will need to install art valued at 1% of the total cost of the project or pay an in-lieu fee.
- Parking is good. Required: 99. Provided: 107 incl 4 ADA

Fire

- Fire and ladder truck access to four-story building is adequate.
- Fire hydrant placement looks good.
- The two access points to the property Are OK as proposed.
- We will require Knox box access.



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Parks and Trees

- The irrigation plan is missing parts of the 6 elements outlined in the Landscape Documentation Package in MWEL0 (Model Water Efficiency Landscape Ordinance)

- Landscape Plans need shade calculations for all asphalt showing it meets the 50% shade in 15-year requirement per Oroville Municipal Code 17-12.050.

- The landscape plan will need a detail sheet including items such as soil amending, fertilizing, planting, tree staking, groundcovers, etc.

- Will need to execute a Landscape Maintenance Agreement prior to occupancy

Engineering

- Explore the possibility of widening the driveway access to Feather River Blvd.

- Traffic Impact Analysis Page i. Instead of "No Parking" signs, "No Parking – Fire Lane" should be installed and maintained, as that is more readily enforceable.

- Sheet C1.0 Storm Water Management. All storm water must be retained on site or conveyed to an approved conveyance.

- This project is subject to "State Water Resources Control Board Water Quality Order No. 2013-001-DWQ NPDES General Permit No. CAS000004 Waste Discharge Requirements (WDRs) for Storm Water Discharges from Small Municipal Separate Storm Sewer Systems" (aka MS4 General Permit). Specifically, Section E.12. Post Construction Storm Water Management.

- City Engineer will work with the applicant's engineer to meet requirements.

Applicants state that there is a demand for hotels in Oroville and the area following the Camp Fire with the only comparable hotel as Holiday Inn. There will be a bar on the property for the hotel guests only. Food will be prepared off site and reheated in the prep area, a standard hotel breakfast. A vehicle or pedestrian connection to the neighboring property was ruled out due to the difference in grade and cost. There will be 3 shifts in a 24-hour window, employing about 20 people.



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Item 1.
DIRECTOR

Page 3 of 3

Next Steps

The March 26th Planning Commission meeting is continued to April 23 due to the Coronavirus. Hilton and the applicant will make changes to drawings as appropriate and resubmit for Planning Commission approval on April 23.

Other

Applicant or their engineer will need to work with SCOR to determine if a sewer capacity study is needed. While there are no incentives available from the city, we are working on a fee deferral program that will need to be approved by Council. We will provide the applicant with an estimate of the impact fees.



City of Oroville

COMMUNITY DEVELOPMENT DEPARTMENT

Leonardo DePaola
DIRECTOR

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NOTICE OF EXEMPTION

TO: Butte County Clerk
25 County Center Drive
Oroville, CA 95965

FROM: City of Oroville
1735 Montgomery Street
Oroville, CA 95965

Project Title: UP 20-02 Hampton Inn and Suites

Project Location – Specific: 2355 Feather River Boulevard

Project Location - City: City of Oroville

Project Location – County: Butte

Description of Nature, Purpose, and beneficiaries of project: The project applicant, Valley Star Partners, LLC, has applied for a Use Permit for a new 86-room 4-story branded hotel, which construction of the hotel and associated parking and site improvements.. The subject property has a zoning designation of Corridor Mixed Use (MXC) and a General Plan land use designation of Mixed Use (MU).

Name of Public Agency Approving Project: City of Oroville

Name of Person or Agency Carrying Out Project: Valley Star Partners, LLC

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1); 15268)
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption: State type & section number:
 - General Rule Exemption; Title 14, CCR, §15061(b)(3)
 - In-Fill Development Projects; Title 14, CCR, §15332
- Statutory Exemption: State code number:

Reasons why project is exempt: This action has been determined to be exempt from the California Environmental Quality Act (CEQA) review as follows:

General Rule Exemption; Title 14, CCR, §15061(b)(3)

A project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects, which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. It has been determined that this project will not have a significant effect on the environment since it is along a heavily developed commercial corridor along State Highway 162 and within ¼ mile of the Highway 70 freeway interchange.

In-Fill Development Projects; Title 14, CCR, §15332

Class 32 categorical exemptions consists of projects characterized as in-fill development meeting specific conditions a-e as described in this section. This project meets all conditions, including being consistent with the General Plan and Zoning Designation, occurs within City limits, has no value as habitat, will not result in any significant effects, and can be adequately served by all required utilities. The project is consistent with the existing MXC Zoning with a Use Permit.

If filed by applicant:

- 1. Attach certified document of exemption finding.
- 2. Has a notice of exemption been filed by the public agency approving the project? Yes No

Lead Agency Contact Person: Wes Ervin

Telephone: (530) 538-2408

Signature: _____

Date: _____

- Signed by Lead Agency
- Signed by Applicant



City of Oroville

Leonardo DePaola
Community Development Director

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PLANNING COMMISSION STAFF REPORT

Thursday, March 26, 2020

RE: INITIATION OF PROCEEDINGS FOR THE ANNEXATION OF PORTIONS OF SOUTH LINCOLN AVENUE AND MYERS STREET

SUMMARY: The Planning Commission will conduct a public hearing to initiate proceedings for annexation into the City of 27 parcels constituting 14.2 acres at and near the intersection of Lincoln Boulevard and Myers Street in South Oroville, and to consider recommending that the City Council approve the annexation application and submit it to Butte LAFCo..

RECOMMENDATION: Staff recommends the following actions:

1. **Adopt the Class 19 Categorical Exemption** for Annexation of Existing Facilities (CCR, Title 14, Sec. 15319) – as the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA);
2. **Forward a recommendation to the City Council** that they approve the annexation application and submit it to the Butte Local Agency Formation Commission (LAFCo).

APPLICANTS: The City of Oroville

LOCATION: South Lincoln and Myers Streets between Idora Street and Baggett Marysville Road, Oroville, California

GENERAL PLAN: varies
ZONING: varies
FLOOD ZONE: Zones X and A

ENVIRONMENTAL DETERMINATION: Categorically Exempt per Section 15319 of Title 14, California Code of Regulations.

REPORT PREPARED BY:

REVIEWED BY:

Wes Ervin, Senior Planner
Community Development Department

Leonardo DePaola, Director
Community Development Director

DISCUSSION

Staff recommends that the Planning Commission consider the annexation proposal described in this staff report and forward a recommendation to the City Council.

In 2011 the City of Oroville developed an annexation strategy which includes three phases: (1) annexation of all existing unincorporated islands that are “substantially” surrounded by the City of Oroville; (2) update the City’s Sphere Of Influence; and (3) commence the appropriate steps for the prudent annexation of South Oroville. Phase 1 was complete, Phase 2 is under discussion, and Phase 3 would be advanced with the annexation proposed below.

The City has completed annexation of most of South Oroville, and now desires to eliminate a notch in the South Oroville area that was not annexed during the 2015 South Oroville annexation. The notch includes 27 parcels, and including streets constitutes 14.2 acres along South Lincoln Blvd where it merges with Myers Street. In addition to smoothing out the City limits at that location, staff believes that annexation will over time ease the ability of the Rescue Mission to expand its services, will open the City-owned abandoned rail line to new uses, and will help upgrade the residential stock and business activity in that area over time.

Zoning and Land Use

The 27 parcels are entirely within the City’s existing Sphere of Influence (SOI) and are designated in the General Plan for mixed and commercial uses, with the Rescue Mission designated Public. Butte County has also zoned them Mixed Use, General Commercial, Heavy Industry, or Public (Rescue Mission).

Staff does not anticipate changing the corresponding pre-zoned designations of the parcels. See the attached Zoning Map.

Fourteen of the 20 small residentially sized parcels have nonconforming single or multi-family structures, not all occupied, though some are used to house Rescue Mission clients. If new uses or residential expansions are proposed after annexation, the developer at the time would need to meet the requirements of the existing Zoning.

Public Services

No changes to the provision of water, sewer, power, fire protection, or other agency jurisdictions are anticipated. Notice has been mailed to all agencies with potential interest in the annexation, and any comments will be addressed.

The Police Chief has confirmed that the small size of the annexation would have a very minor impact on police services.

The El Medio Fire District will continue to be the Fire provider for the area.

CSA 17

Property owners in the annexation area are already contributing to CSA 17, which assesses property owners throughout South Oroville and the Las Plumas area for alley maintenance and street lighting. The City will work with the County to transfer the appropriate funds to the City for use in the new annexed area.

ENVIRONMENTAL REVIEW

The existing pre-zoning designations have been previously analyzed by the Environmental Impact Report (EIR) (State Clearinghouse #: 2008022024) which was

certified by the Oroville City Council on June 2, 2009 along with the adoption of the Oroville 2030 General Plan. There is no change to the pre-zoning designations analyzed by the EIR. Any new development project in the proposed annexation area will require the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA).

The initiation of proceedings for the annexation has been determined to be exempt from CEQA review pursuant to the California Code of Regulations, Title 14, Section 15319, "Annexations of Existing Facilities and Lots for Exempt Facilities." Class 19 consists of annexations to a city or special district of areas containing existing public or private structures developed to the density allowed by the current zoning or pre-zoning of either the gaining or losing governmental agency whichever is more restrictive, provided however, that the extension of utility services to the existing facilities would have a capacity to serve only the existing facility." Thus, this project is exempt from CEQA.

A Notice of Exemption will be filed with the County Clerk.

FISCAL IMPACT

City of Oroville Resolution No. 3514, passed and adopted by the Oroville City Council on February 4, 1980, approved and executed an agreement between Butte County and the City of Oroville regarding the negotiation, exchange of property tax revenues (Master Tax Exchange Agreement) relating to jurisdictional changes in accordance with Section 99(b) of the Tax and Revenue Code.

Once the annexation is completed, the City will in the following fiscal year begin receiving 58% of the property taxes generated in the area.

Upon annexation into the City of Oroville, property owners shall be obligated for existing City or district liability and indebtedness to the extent that existing property owners within the City of Oroville are liable for outstanding city debts.

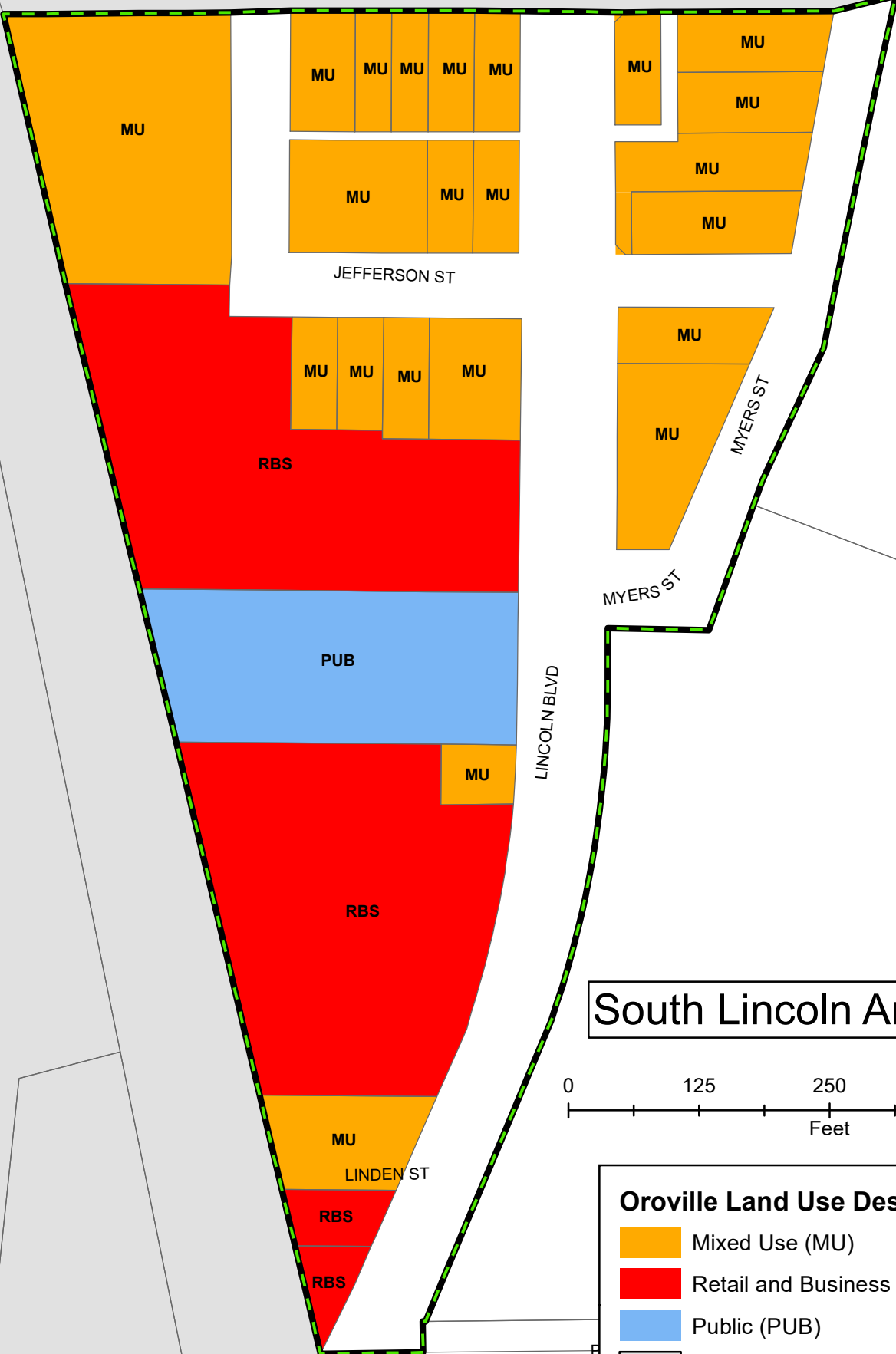
ATTACHMENTS

- A. Vicinity Map
- B. Map of General Plan Land Use Designations
- C. Zoning Map of the proposed Annexation Area
- D. Master Tax Sharing Agreement of January 30, 1980
- E. Notice of Exemption

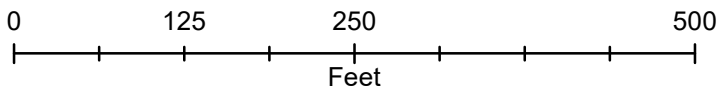
Item 2.

IDORA ST

ITHACA



South Lincoln Annexation



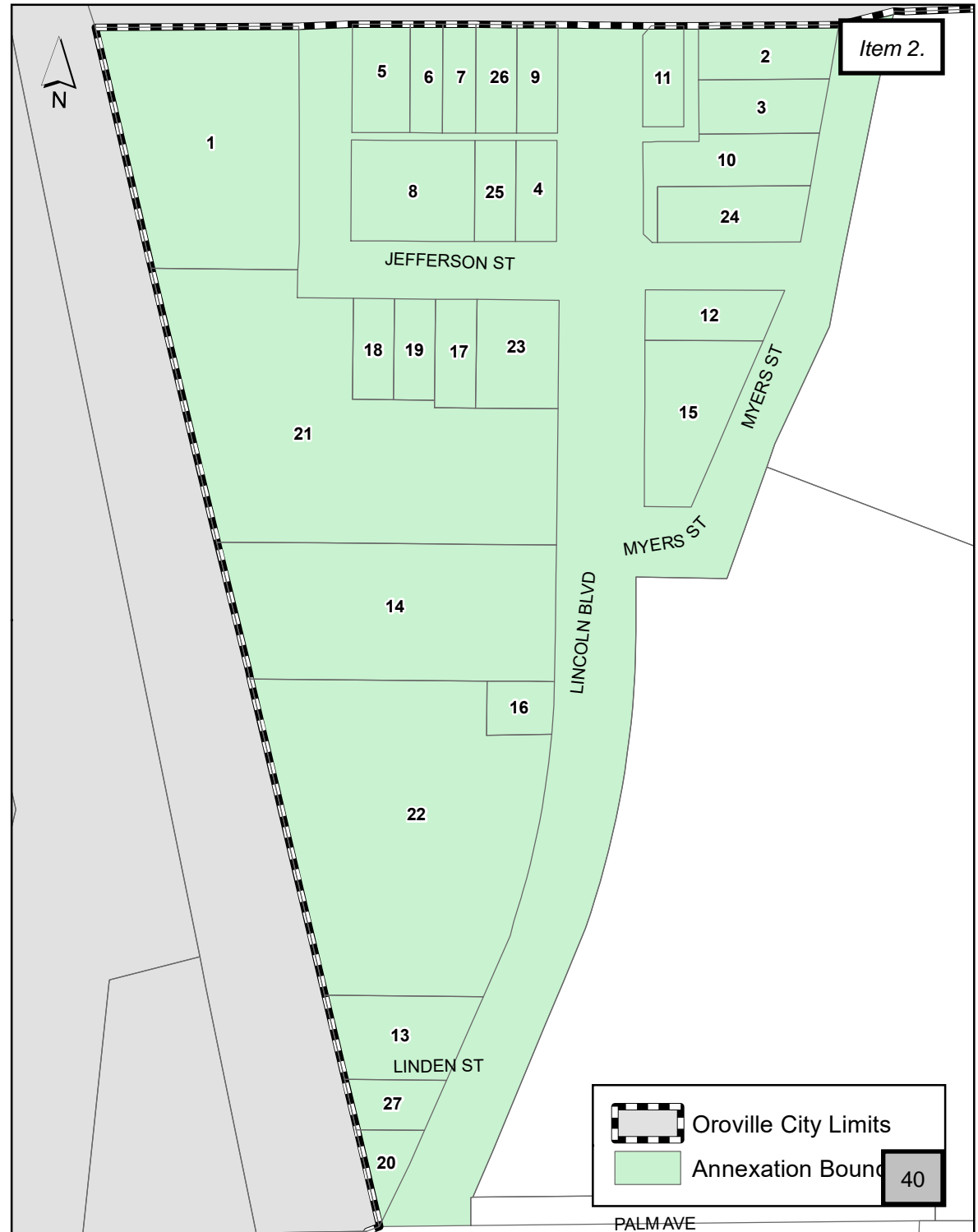
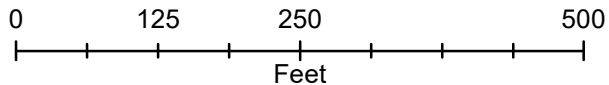
Oroville Land Use Designation

- Mixed Use (MU)
- Retail and Business Services (RBS)
- Public (PUB)
- Oroville City Limits
- Annexation Boundary


 N

South Lincoln Annexation

ID	APN	County Zoning	City PreZone	Current Use
1	035-174-001	HI	MXN	INDUSTRIAL
2	035-175-005	MU-3	MXN	SINGLE-FAMILY RES
3	035-175-006	MU-3	MXN	SINGLE-FAMILY RES
4	035-175-011	MU-3	MXN	SINGLE-FAMILY RES
5	035-175-014	MU-3	MXN	SINGLE-FAMILY RES
6	035-175-019	MU-3	MXN	SINGLE-FAMILY RES
7	035-175-020	MU-3	MXN	SINGLE-FAMILY RES
8	035-175-024	MU-3	MXN	SINGLE-FAMILY RES
9	035-175-025	MU-3	MXN	SINGLE-FAMILY RES
10	035-175-030	MU-3	MXN	SINGLE-FAMILY RES
11	035-175-029	MU-3	MXN	SINGLE-FAMILY RES
12	035-200-007	MU-3	MXN	SINGLE-FAMILY RES
13	035-200-013	MU-3	MXN	SINGLE-FAMILY RES
14	035-200-019	P	PQ	RESCUE MISSION
15	035-200-021	MU-3	MXN	SINGLE-FAMILY RES
16	035-200-024	HI	MXN	COMMERCIAL
17	035-200-027	MU-3	MXN	SINGLE-FAMILY RES
18	035-200-029	MU-3	MXN	SINGLE-FAMILY RES
19	035-200-031	MU-3	MXN	SINGLE-FAMILY RES
20	035-200-032	G-C	CLM	COMMERCIAL
21	035-200-034	HI	CLM	COMMERCIAL
22	035-200-035	HI	CLM	COMMERCIAL
23	035-200-036	MU-3	MXN	SINGLE-FAMILY RES
24	035-175-028	MU-3	MXN	SINGLE-FAMILY RES
25	035-175-012	MU-3	MXN	SINGLE-FAMILY RES
26	035-175-026	MU-3	MXN	SINGLE-FAMILY RES
27	035-200-033	G-C	CLM	COMMERCIAL



RECEIVED

FEB 20 1980

AGREEMENT BETWEEN BUTTE COUNTY AND CITIES REGARDING
 THE NEGOTIATED EXCHANGE OF PROPERTY TAX REVENUES
 RELATING TO JURISDICTIONAL CHANGES (IN ACCORDANCE WITH
 REVENUE AND TAXATION CODE SECTION 99 ADDED BY CHAPTER
 282 STATUTES OF 1979 AND AMENDED BY CHAPTER 1161 OF
 THE STATUTES OF 1979 (Agreement Amended January 31, 1980)

Item 2.

1 WHEREAS, Article XIII A of the California Constitution
 2 (added June 8, 1978) limited local agencies ability to levy
 3 property taxes and required the limited property taxes raised
 4 to be allocated among various local agencies in accordance with
 5 law; and

6 WHEREAS, Chapter 282, Statutes of 1979, as amended by
 7 Chapter 1161 of the Statutes of 1979 (Revenue and Taxation Code
 8 Section 99(b) implementing provisions of Article XIII A of the
 9 Constitution) requires the governing bodies of all agencies
 10 whose service areas or service responsibilities would be altered
 11 by a change of jurisdiction (e.g. annexations to or de-annexa-
 12 tions from cities) to determine the amount of property tax
 13 revenues to be exchanged between and among such affected agencies;
 14 and

15 WHEREAS, no such jurisdictional change shall become
 16 effective until each county and city included in such negotiation
 17 agrees by resolution to accept the negotiated exchange of pro-
 18 perty tax revenues; and

19 WHEREAS, representatives of Butte County and its cities
 20 of Biggs, Chico, Gridley, Oroville and Paradise have met and
 21 negotiated; and

22 WHEREAS, Butte County and each of its cities recognize
 23 the significant financial difficulties and their impacts upon
 24 local government's ability to provide services to its citizens;
 25 and

26 WHEREAS, pending legislation and initiative amendment

1 to the California Constitution make it difficult to assess the
2 long-term equity of a permanent exchange of property tax revenues;
3 and

4 WHEREAS, property taxes generated within the boundaries
5 of each city during the three years prior to the adoption of
6 Article XIII A of the Constitution were shared by each city and
7 the county in approximately the following ratio:

	<u>CITY</u>	<u>COUNTY SHARE</u>	<u>CITY SHARE</u>
8			
9	Biggs	58%	42%
	Chico	60%	40%
10	Gridley	48%	52%
11	Oroville	42%	58%

12 and

13 WHEREAS, the town of Paradise was incorporated in
14 November, 1979, and therefore has no property tax sharing ratio
15 history with the county;

16 NOW, THEREFORE, BE IT RESOLVED that the County of Butte,
17 the City of Biggs, the City of Chico, the City of Gridley, the
18 City of Oroville and the Town of Paradise do hereby agree as
19 follows:

20 1. In the case of a jurisdictional change (other
21 than a city incorporation) involving the service areas or
22 service responsibilities of the county or any of the cities named
23 above, the amount of property taxes to be exchanged between the
24 county and each city shall be as follows:

25
26

1 Property annexed to:

2	<u>CITY</u>	<u>COUNTY SHARE</u>	<u>CITY SHARE</u>
3	Biggs	58%	42%
	Chico	60%	40%
4	Gridley	48%	52%
	Oroville	42%	58%
5	Paradise	*	*

6 * Due to the lack of historical data involving property taxes for
7 the newly incorporated town of Paradise, any jurisdictional changes
8 involving Paradise shall be negotiated individually as they occur.

9 2. The exchange of property taxes shall be effective
10 beginning any fiscal year only if the jurisdictional change has
11 been completed entirely and filed with the State Board of
12 Equalization prior to January 1st of the preceding fiscal year.

13 3. Because of the significant financial unknowns as of
14 this date, any party hereto may, upon written notification by
15 April 1, 1982 to the county or appropriate city, renegotiate this
16 contract with respect to that city or county only. The parties
17 involved in the notification shall renegotiate the property tax
18 exchange. The agreement shall remain in full force and effect
19 for parties not involved in such renegotiation. If said renego-
20 tiation has not been agreed upon by July 1, 1982, the county
21 auditor shall impound all property taxes on the subject property
22 due and payable on or after that date to the parties involved in
23 the negotiation until he receives evidence that agreement has
24 been reached.

25 4. In the case of a jurisdictional change, which
26 materially affect the non-property tax revenues of either Butte

1 County or any of its cities so as to significantly impair its
 2 ability to provide for the public health and safety of its
 3 citizens, such exchange of property taxes shall be considered
 4 outside the scope of this agreement and shall be subject to
 5 separate negotiations. The party hereto who would lose revenue
 6 shall be subject to separate negotiations. The party hereto who
 7 would lose revenue shall be the party making the determination
 8 as to whether or not the jurisdictional change "materially affects"
 9 its non-property tax revenues.

10 5. This Agreement shall become effective upon its
 11 adoption by resolution pursuant to Section 99(b) of the Revenue
 12 and Taxation Code.

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 19 APPROVED AS TO FORM:
 Robt. G. Boehm, City Attorney
 By: [Signature]

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attached - minute v

THE FOREGOING INSTRUMENT IS A CORRECT COPY OF
 THE ORIGINAL ON FILE AND OF RECORD IN THIS OFFICE.
 ATTEST: 2/19 1980
 CLARK A. NELSON
 SUPERVISOR OF THE SUPERIOR COURT
 BUTTE, STATE OF CALIFORNIA
 By: [Signature]

Authorized pursuant to City Council
 Minute Order No. 13-86
 Approved on 2-5-81

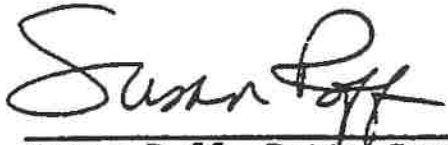
EXHIBIT 44 118

1 APPROVED AS TO FORM:

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Robert G. Boehm, Chico
City Attorney



Susan Roff, Butte County
Counsel

Authorized Pursuant to City of Chico
Joint City Council/Redevelopment Agency
Resolution Nos. 49 87-88/RDA 5-87
Adopted November 3, 1987

~~Authorized Pursuant to Butte County
Board of Supervisors Resolution #87-267
approved November 3, 1987~~

Authorized Pursuant to Motion of the
Board of Directors of the Butte County
Mosquito Abatement District at a Special
Meeting held on November 2, 1987.



1735 MONTGOMERY STREET OROVILLE, CALIFORNIA 95965 AREA CODE 916 533-9551

OFFICE OF THE
CITY ADMINISTRATOR -- CITY CLERK

February 5, 1980

Mr. Clark A. Nelson
County Clerk-Recorder
25 County Center Drive
Oroville, CA 95965

Dear Mr. Nelson:

The City Council, at its meeting of February 4, 1980, approved the agreement between Butte County and the City of Oroville, et al, for the exchange of property tax revenues relating to jurisdictional changes as amended in the memorandum from the Auditor dated January 31, 1980.

Enclosed is a certified copy of Resolution No. 3514 which approves this agreement.

Sincerely,

David M. Jinkens
tlp

David M. Jinkens
City Administrator

DMJ:tlp

Enclosure



City of Oroville

COMMUNITY DEVELOPMENT DEPARTMENT

Leonardo DePaola
DIRECTOR

1735 Montgomery Street
Oroville, CA 95965-4897
(530) 538-2430 FAX (530) 538-2426
www.cityoforoville.org

NOTICE OF EXEMPTION

TO: Butte County Clerk
25 County Center Drive
Oroville, CA 95965

FROM: City of Oroville
1735 Montgomery Street
Oroville, CA 95965

Project Title: Annexation of properties identified as South Lincoln Avenue and Myers Street

Project Location – Specific: 27 parcels bounded by Idora Street on the north, Myers Street on the east, Baggett Marysville Road on the south, and the existing City limits on the west.

Project Location - City: City of Oroville

Project Location – County: Butte

Description of Nature, Purpose, and beneficiaries of project: The project consists of the annexation into the City of 27 parcels constituting 14.2 acres at and near the intersection of Lincoln Boulevard and Myers Street in South Oroville.

Name of Public Agency Approving Project: City of Oroville

Name of Person or Agency Carrying Out Project: City of Oroville

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1); 15268)
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption: State type & section number:
 - Annexations of Existing Facilities and Lots for Exempt Facilities; Title 14, CCR, §15319
- Statutory Exemption: State code number:

Reasons why project is exempt: This action has been determined to be exempt from the California Environmental Quality Act (CEQA) review as follows:

Class 19 consists of annexations to a city or special district of areas containing existing public or private structures developed to the density allowed by the current zoning or pre-zoning of either the gaining or losing governmental agency whichever is more restrictive, provided however, that the extension of utility services to the existing facilities would have a capacity to serve only the existing facility.” Thus, this project is exempt from CEQA. *The annexation area has been rezoned by the City, is within its Sphere of Influence, and is already fully developed. No changes in Zoning or development are proposed. Any new development project in the area will require the appropriate CEQA review at that time.*

If filed by applicant: Not applicable

Lead Agency Contact Person: Wes Ervin

Telephone: (530) 538-2408

Signature: _____

Date: _____

- Signed by Lead Agency
- Signed by Applicant



City of Oroville

Leonardo DePaola
Director

COMMUNITY DEVELOPMENT DEPARTMENT

1735 Montgomery Street
Oroville, CA 95965-4897
(530) 538-2436 FAX (530) 538-2426
www.cityoforoville.org

PLANNING COMMISSION STAFF REPORT

Thursday, March 26, 2020

RE: VAR 20-01 for a new Maverik Gas Station and Convenience Store Freestanding Sign

SUMMARY: The Oroville Planning Commission will hold a Public Hearing to consider granting Variance 20-01 to allow Maverik, Inc. to construct a freestanding sign at 350 Oro Dam Blvd. that exceeds the maximum sign height by 25 feet, and that exceeds the maximum sign area by 472 square feet.

RECOMMENDATION: Staff recommends the following actions:

1. **Adopt** the Class 32 Categorical Exemption for In-Fill Development Projects (CCR, Title 14, Sec. 15332 – as the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA);
2. **Adopt** the recommended Findings for VAR 20-01, and
3. **Adopt** Resolution No. P2020-03 approving an 85-foot tall freestanding sign.

APPLICANTS: Maverik, Inc.

LOCATION: 350 Oroville Dam Boulevard, Oroville, California

GENERAL PLAN: RBS (Retail and Business Services)

ZONING: C-2 (Intensive Commercial)

FLOOD ZONE: Zone X

ENVIRONMENTAL DETERMINATION: Categorically Exempt per Section 15332 of Title 14, California Code of Regulations.

REPORT PREPARED BY:

REVIEWED BY:

Wes Ervin, Senior Planner
Community Development Department

Leonardo DePaola, Director
Community Development Director

DISCUSSION

At their February 27, 2020 meeting, the Planning Commission ratified the Development Review Committee’s recommended conditions, approved UP 20-01 for alcohol sales, and imposed project conditions for the proposed Maverik gas station and convenience store including tentative approval of an 85-foot high freestanding sign. If a variance was needed to exceed the maximum allowable height for a freestanding sign, staff would bring it back to the commission for approval.

The City Attorney has since determined that a variance is needed for Maverik to construct a freestanding sign that exceeds the 60-foot limit in the City’s sign code. The applicant submitted on a request for a variance to construct an 85-foot tall sign with 572 square feet of messaging.

Section 17-48.080 of the Oroville Municipal Code specifies that the sole purpose of a variance shall be to prevent discrimination and undue hardship, and no variance shall be granted that would provide a special privilege not shared by other property owners in the same vicinity. When strict and literal enforcement of the provisions of the Zoning Code results in unreasonable and unnecessary hardships, or in results inconsistent with the general provisions of this code, the Planning Commission shall have the authority to grant variances that are in harmony with the purposes of the Zoning Code.

In order to grant a variance, the Planning Commission must make certain findings (see attached).

Per OMC 17.20 sign regulations, the total allowable area for freestanding signs is 100 sf per side and a maximum height of 60 feet.

Findings

FISCAL IMPACT

None. The project is subject to all customary fees.

PUBLIC NOTICE

Per OMC 17.48.080.C.2, the Public Hearing date, time, place, and project description were published in the Oroville Mercury Register and posted at City Hall more than 10 days in advance of the meeting.

ATTACHMENTS

- 1. Sign variance application package
- 2. Findings: VAR 20-01
- 3. Resolution P2020-03
- 4. Notice of Exemption (CEQA)



Sign Package for Maverik for Maverik #29081 Oroville, CA

Presented By



Salt Lake Region

Salt Lake Office
1605 South Gramercy Road
Salt Lake City, UT 84104
801-487-8481

Version:

DSGN #29081 R3 3-3-2020

PHOTO TAKEN FROM NORTH TO SOUTH. TOP OF BANNER AT 85 FT OAH.



PHOTO TAKEN FROM SOUTH TO NORTH. TOP OF BANNER AT 100 FT OAH.

Item 3.



PHOTO TAKEN FROM EAST TO WEST. TOP OF BANNER AT 50 FT OAH.



PHOTO TAKEN FROM EAST TO WEST. TOP OF BANNER AT 50 FT OAH

Item 3.



PHOTO TAKEN FROM WEST TO EAST. TOP OF BANNER AT 50 FT OAH.



SCOPE OF WORK:
 MANUFACTURE & INSTALL **ONE (1)** SET OF ILLUMINATED CHANNEL LETTER ON CUSTOMER PROVIDED STEEL PANEL MOUNTED TO RACEWAY.
 PERMITTING SIGN AREA: 77ft²
 FINAL ELECTRICAL CONNECTION BY: **YESCO**

COLOR KEY - MAVERIK STANDARDS - NEW LOGO

1	PAINT	SHERWIN WILLIAMS# 7020 "BLACK FOX"
	PREPAINT	DURANODIC BRONZE
	VINYL	3M 3630-69 DURANODIC
2	PMS	PANTONE® 186c
	VINYL	3M 3630-33 "RED"
3	PAINT	MATCH PMS 348c/SW#LV5-5074896-389504-A
	VINYL	3M 3630-26 "GREEN"
4	PAINT	DUPONT #K 9441
	VINYL	3M 3630-26 "LT EUROPEAN BLUE"
5	PAINT	SHERWIN WILLIAMS TO MATCH "PMS 427c"
	VINYL	AVERY UC 900-811-T "PANTONE 427c"
6	PMS	PANTONE® 2945c
	VINYL	3M 3630-167 "BRIGHT BLUE"

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS

NOTE:
 FIELD SURVEY REQUIRED PRIOR TO FABRICATION.
 ENGINEERING TO DETERMINE ATTACHMENT POINTS.

YESCO
 DESIGN
 1605 South Gramercy Rd.
 Salt Lake City, UT 84104
 801.487.8481

www.yesco.com
 © 2017 YESCO LLC. All right reserved

This drawing was created to assist you in visualizing our proposal. The original ideas herein are the property of YESCO LLC. Permission to copy or revise this drawing can only be obtained through a written agreement with YESCO.
 The colors shown are only approximated on any computer monitor, inkjet or laser print. The final product may vary slightly in color from your computer monitor or print.

This sign is installed in accordance with the requirements of Article 600 of the National Electrical Code and / or other applicable local codes. This includes proper grounding and bonding of the sign.

Revisions 

No.	Date / Description
orig	
1	1-24-2020 added this pg-CTL
2	3-3-2020 no chg this pg-CTL


Approval

 A/E Sign / Date

 Client Sign / Date

 Landlord Sign / Date

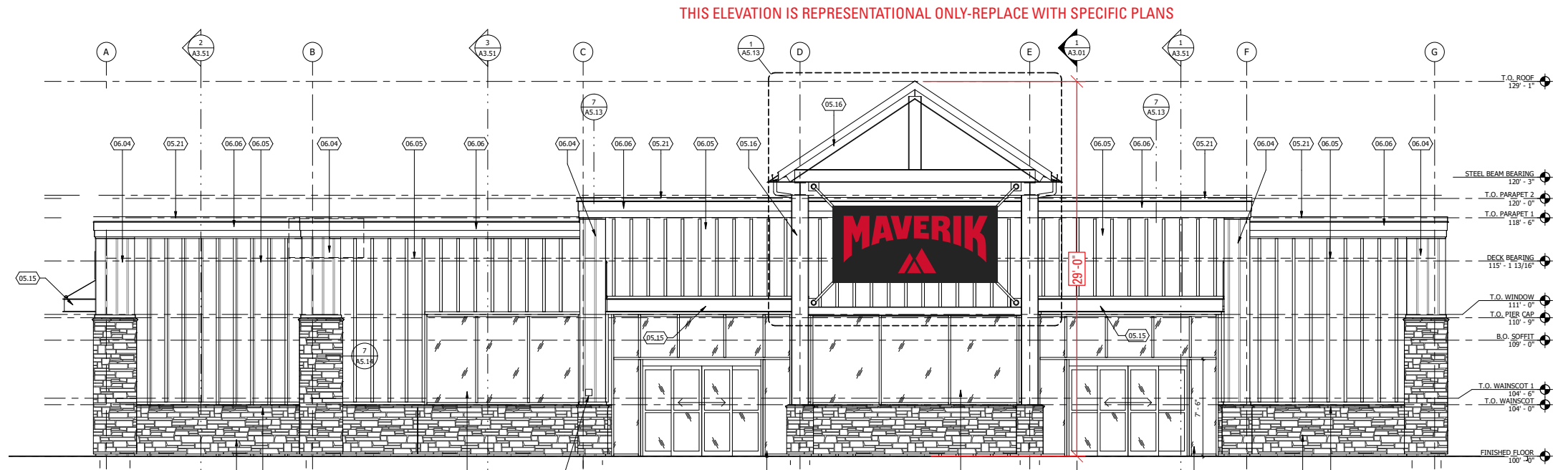
Maverik
 NW corner Oroville Dam Road
 & Feather River Blvd
 Oroville, CA
 Acct. Exec: Matt Wren
 Designer: Cheryl Lewis
 Orig: 12-19-2019

OP# **29081** **R3**
 JO #00000
 scale: as noted
ART 



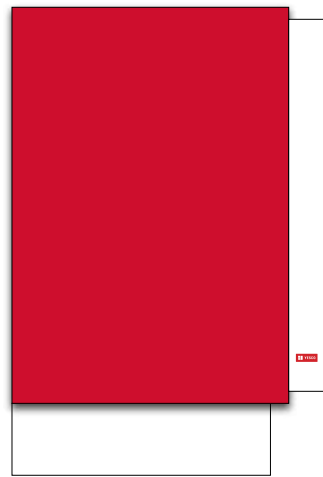
deep aluminum channel letter w/ 3RK31 or 2283 Red Arcylic faces. 1" bronze trim cap & pre-painted returns [see color key]. White L.E.D illumination. Mounted to steel panel. Self contained power supplies.

Customer provided steel plate.
8 PAN CHANNEL LETTERS ON STEEL PANEL CABINET
 SCALE: 3/8" = 1'-0"

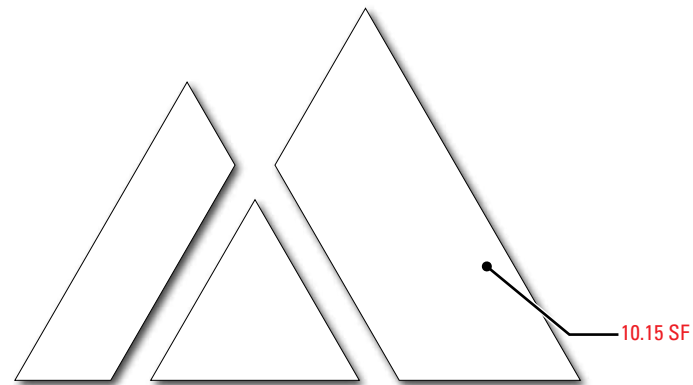


This design does not constitute production ready artwork and is to be used exclusively for proofing and review purposes only.

8.2 DETAIL ELEVATION
 SCALE: 3/32" = 1'-0"



12.1 SIDE VIEW



12 ILLUMINATED SUMMIT LOGO
A-C SCALE: 3/4" = 1'-0"

SCOPE OF WORK:	
MANUFACTURE & INSTALL THREE (3) SETS L.E.D. ILLUMINATED SUMMIT LOGO.	
Maverik 11.3 sf x 2=22.6	
Summit 10.15 sf x 3=30.45	
Adventure... 17.6 sf	
Total: 70.65 sf	
PERMITTING SIGN AREA: 10.15ft ²	ELECTRICAL: 2 Amps 120 V
FINAL ELECTRICAL CONNECTION BY:	YESCO

NOTE:
FIELD SURVEY REQUIRED PRIOR TO FABRICATION.



DESIGN

1605 South Gramercy Rd.
Salt Lake City, UT 84104
801.487.8481

www.yesco.com

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This drawing was created to assist you in visualizing our proposal. The original ideas herein are the property of YESCO LLC. Permission to copy or revise this drawing can only be obtained through a written agreement with YESCO.

The colors shown are only approximated on any computer monitor, inkjet or laser print. The final product may vary slightly in color from your computer monitor or print.

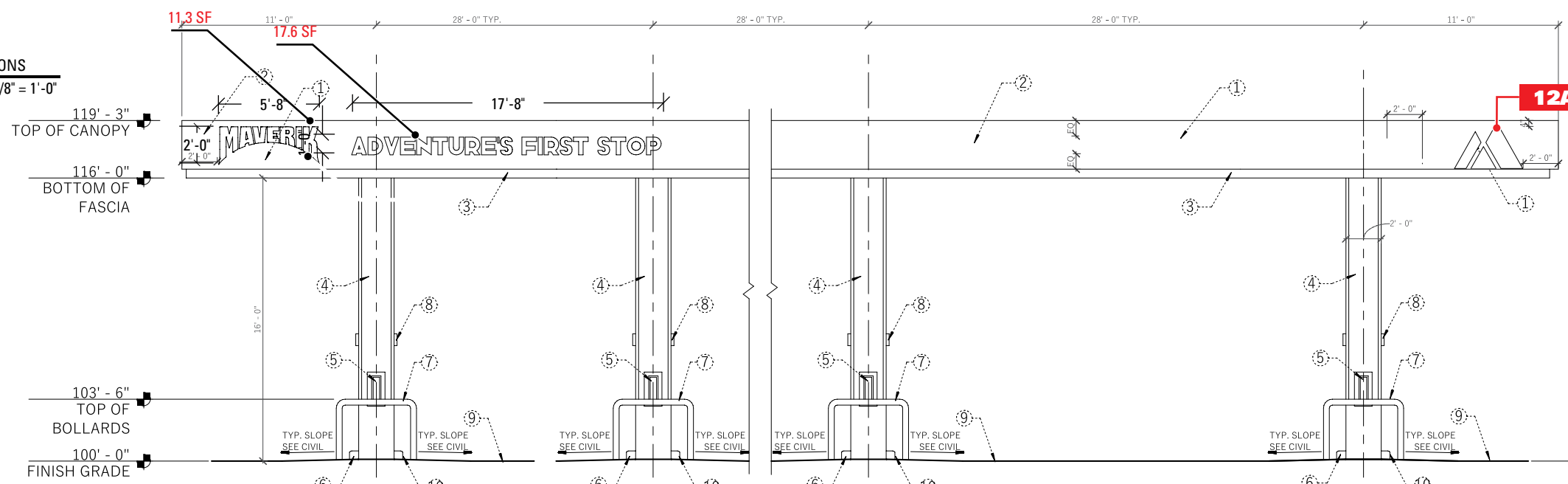
This sign is installed in accordance with the requirements of Article 600 of the National Electrical Code and / or other applicable local codes. This includes proper grounding and bonding of the sign.

Revisions



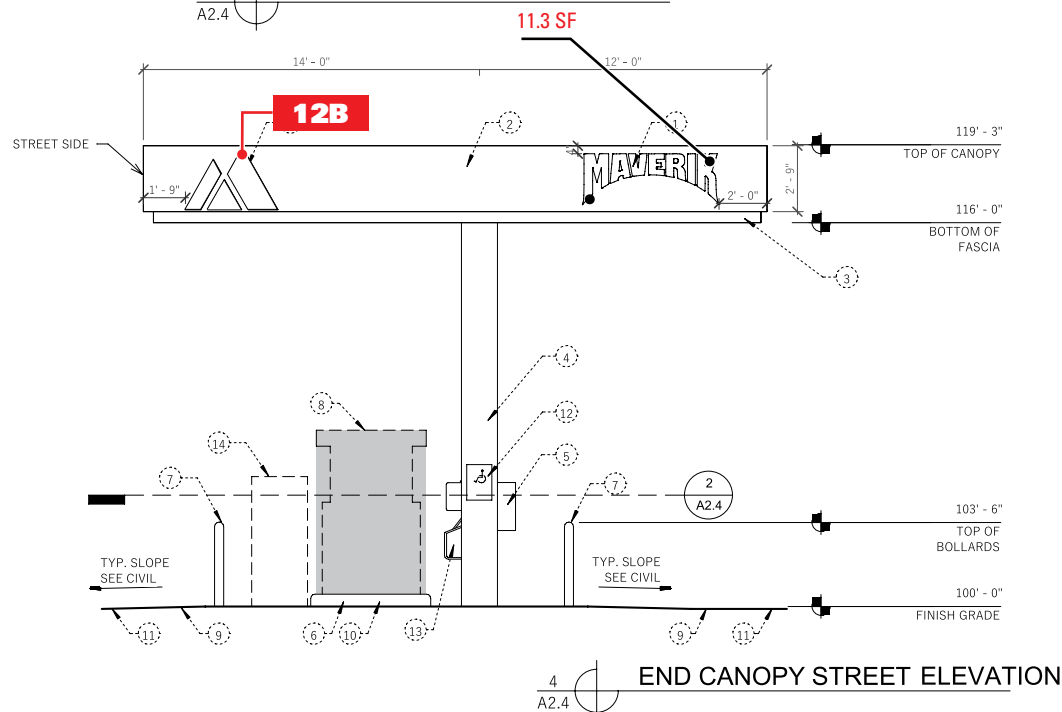
No.	Date / Description
orig	
1	1-24-2020 added this pg-CTL
2	3-3-2020 no chg this pg-CTL

12.2 ELEVATIONS
SCALE: 1/8" = 1'-0"

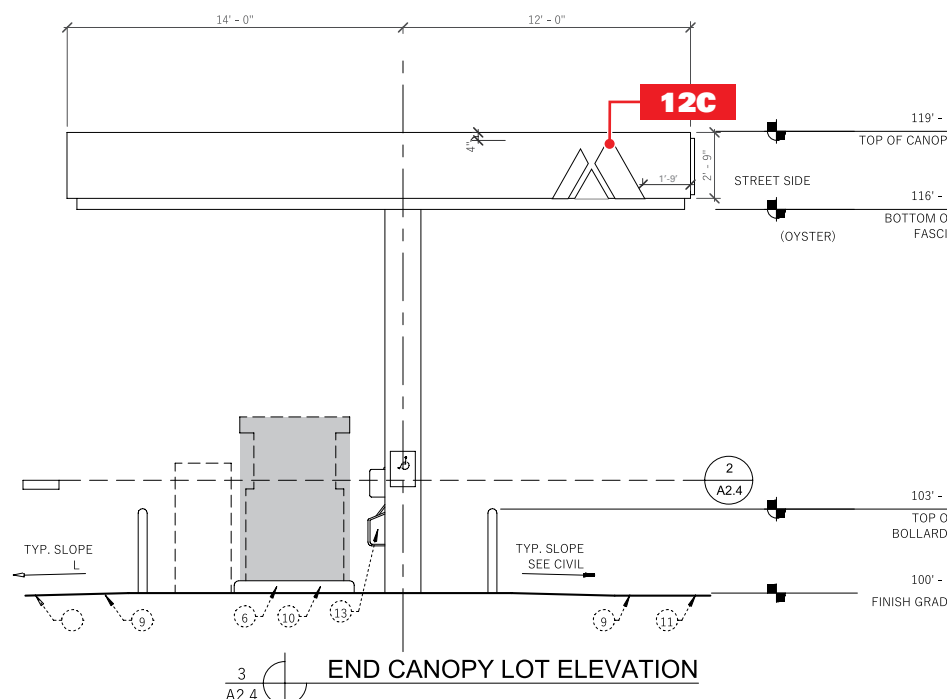


FUEL DISPENSING CANOPY STREET ELEVATION

THIS ELEVATION IS REPRESENTATIONAL ONLY



END CANOPY STREET ELEVATION



END CANOPY LOT ELEVATION

Approval

A/E Sign / Date

Client Sign / Date

Landlord Sign / Date

Maverik

NW corner Oroville Dam Road
& Feather River Blvd
Oroville, CA

Acct. Exec: Matt Wren
Designer: Cheryl Lewis

Orig: 12-19-2019

OPY# 29081

R3

JO #00000

scale: as noted

ART 12.0

61



City of Oroville

Planning Division - Community Development Department

1735 Montgomery Street
Oroville, CA 95965-4897
(530) 538-2420 FAX (530) 538-2426
www.cityoforoville.org

Donor: Item 3.

TRAKIT#:

VARIANCE APPLICATION

(Please print clearly and fill in/provide all that apply)

REQUIRED FOR A COMPLETE APPLICATION

- Completed and signed Application Forms
- Application Fee Paid: \$2,317.52 (Deposit) + \$139.05 (6% Tech Fee) = \$2,456.57

**** If additional space is needed, please attach any additional information.**

VARIANCE REQUEST

Clearly define the variance you are requesting below:

Request a variance for a free standing sign to the height of 85 feet where 60 feet is allowed by code.

North / South facing sign at 572 square feet per side.

East / West facing sign at 221.2 square feet per side.

Sign will be located "mid-block on Oroville Dam Blvd. between Feather River Blvd. and Freeway.

CRITERIA FOR APPROVAL OF VARIANCE

1. Explain how the granting of this variance will not be inconsistent with the General Plan or any applicable specific plan:

This variance is consistent with many of the required elements, goals and policies of the General Plan such as:

Goal CD-2 Maintain and enhance the quality of Oroville's landscape, streetscape and gateways.

Location and sign design minimize impacts to the surrounding development and proposed streetscape improvements

Goal ED-1 Enhance and diversify the Oroville economy

Proper signage will attract not only the local residents; it will also draw freeway traffic to expand store patrons to a broader group of consumers.

2. List the exceptional or extraordinary circumstances or conditions that apply to the land, building, or use that do not generally apply to other properties in the same zoning district:

Visibility for signage is difficult due to the property being generally flat, adjacent to a freeway overpass approximately 16 feet above property grade. This physical constraint would block visibility of a code compliant 60 ft. tall sign.

Also, other free standing signs and foliage in the surrounding area would limit visibility of a 60 ft. tall sign.

(Note: Results from a visibility test are included in the attached documents).

3. Explain how the granting of the variance will not grant a special privilege to the property:

Existing signage of other properties in the area have received 85 ft. height allowances. This request would equal those approved variance requests in the area and allow equal sign visibility within the immediate area.

4. Explain why the requested variance is needed for the preservation and enjoyment of a substantial property r
 possessed by other property in the same vicinity and zoning district, and how that would otherwise be denied to the
 property in questions if this variance is denied.

This property is zoned Intensive Commercial (C-2) and a gas station and convenience store is a
 permitted use by right. It's adjacency to the freeway requires sign visibility for freeway traffic to
 make safe exiting movements, as well as the surrounding area. Other properties in the same
 vicinity and zoning district already enjoy similar sign standards as that proposed in this application.

5. Explain why the granting of this variance will not be materially detrimental to the public welfare:

The proposed sign will actually be a benefit to the public welfare, providing clear visibility for
 customers to make safe driving decisions accessing the development.

6. Explain why the granting of this variance will not be injurious to, or incompatible with, any nearby property or
 improvements:

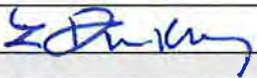
Location of the sign is adjacent to Oroville Dam Blvd., on private property. No physical impacts to
 nearby improvements will be impacted.

VARIANCE INFORMAITON

1. When the strict and literal enforcement of the provisions of the Zoning Code results in unreasonable and
 unnecessary hardships, or results in inconsistencies with the general purpose of Zoning Code, the Planning
 Commission shall have the authority to grant variances that are in harmony with the purpose of the Zoning
 Code.
2. The sole purpose of any variance shall be to prevent discrimination and undue hardship, and no variance shall
 be granted that would provide a special privilege not shared by other property in the same vicinity.
3. A variance shall not permit any land use that is not allowed in the applicable zoning district.

APPLICANT'S SIGNATURE

I hereby certify that the information provided in this application is, to my knowledge, true and correct.

Signature: 	Date: 3/13/2020
OFFICE USE ONLY	
Approved By:	Date:
Payment:	Number:

The Community Development Department operates on a full cost recovery for processing of permits. Staff will charge their time and any expenses
 associated with processing the application against the initial deposit. Fees that have been captured for the reimbursement of City expenses are non-
 refundable.

Technology cost recovery fees are non-refundable



City of Oroville

Planning Division - Community Development Department

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Donor: Item 3.
 DIF

TRAKIT#:

PLANNING DIVISION GENERAL APPLICATION

(Please print clearly and fill in all that apply)

APPLICANT'S INFORMATION		Project's:	Engineer
Name:	Maverik, Inc. (Rick Magness)	Name:	Mike Micheels, Project Manager
Address:	185 South State Street, #800, Salt Lake City, UT 84111	Company:	Cartwright Nor Cal
Phone:	(801) 335-3868	Address:	4180 Douglas Blvd., #200, Granite Bay, CA 95746
Email:	Rick.Magness@Maverik.com	Phone:	(916) 978-4001
Is the applicant the Owner?	Y <small>If applicant is Not the owner, please provide owner /agent authorization on the reverse side.</small>	Email:	mikem@cartwrightengineers.com

DEVELOPMENT PROJECTS & OTHER APPLICATIONS (Please check all that apply)

<input type="checkbox"/>	Annexation	<input type="checkbox"/>	Landmark /Modification/Demolition	<input type="checkbox"/>	Tentative Parcel Map
<input type="checkbox"/>	Appeal	<input type="checkbox"/>	Mining and Reclamation Plan	<input type="checkbox"/>	Tentative Subdivision Map
<input type="checkbox"/>	Development Review	<input type="checkbox"/>	Pre-Application	<input type="checkbox"/>	Use Permit
<input type="checkbox"/>	Final Map	<input type="checkbox"/>	Residential Density Bonus	<input checked="" type="checkbox"/>	Variance
<input type="checkbox"/>	General Plan Amendment/Rezone	<input type="checkbox"/>	Temporary Use	<input type="checkbox"/>	Wireless Communication Facilities
<input type="checkbox"/>	Landmark Designation	<input type="checkbox"/>	Tentative Map Extension	<input type="checkbox"/>	Zoning Clearance
<input type="checkbox"/>	Other: (Please Specify)				

ADMINISTRATIVE PERMITS (Please check all that apply)

<input type="checkbox"/>	Adult Oriented Business	<input type="checkbox"/>	Outdoor Storage	<input type="checkbox"/>	Special Event
<input type="checkbox"/>	Home Occupation	<input type="checkbox"/>	Outdoor Display & Sales	<input type="checkbox"/>	Street Closure
<input type="checkbox"/>	Large Family Day Care	<input type="checkbox"/>	Second Dwelling Unit	<input type="checkbox"/>	Tree Removal
<input type="checkbox"/>	Mobile Food Vendor	<input type="checkbox"/>	Sign/Temporary Sign Permit	<input type="checkbox"/>	
<input type="checkbox"/>	Other: (Please Specify)				

*Please provide a letter addressed to the Planning Division with a detailed description for the proposed project. Please include any site plans, maps, aerials, photos, and other relevant information that will help us in processing your application.
 ** Any time a set of plans is required, three (3) sets of drawings shall be submitted, unless otherwise directed.

PROJECT INFORMATION

Project Name: Maverik - Oroville	Proposed Structure(s) (Sq Ft.): 6,132+- convenience store/gas station w/85' high sign
Address: Oroville Dam Road	Existing Structure(s) (Sq Ft.): All existing structures to be demolished
Nearest Cross Street: Feather River Blvd.	Water Provider: California Service Company (CalWater)
Assessor Parcel Number: Newly created Lot via LLA (attached)	School District: Oroville Union High School & Elementary School Districts
Lot Size (Acres): 4.75 +- Acres	Number of Dwelling Units: 0

APPLICANT'S SIGNATURE

I hereby certify that the information provided in this application is, to my knowledge, true and correct.

Signature:	Date: 3/13/20
------------	---------------

OFFICE USE ONLY

General Plan:	Zoning:	Zoning Conformity:	APN:
File#	Overlay Zoning:	Minimum Setbacks:	FY RY SY

AGENT AUTHORIZATION

To the City of Oroville, Department of Community Development

NAME OF AGENT:		PHONE NUMBER:	
COMPANY NAME:		EMAIL:	
ADDRESS:		CITY/ST/ZIP:	

AGENT SIGNATURE:

Is hereby authorized to process this application on my/our property, identified as Butte County Assessor Parcel Number (s):

This authorization allows representation for all applications, hearings, appeals, etc. and to sign all documents necessary for said processing, but not including document (s) relating to record title interest.

Owner(s) of Record (sign and print name)

1)	<u>Lance Dunkley</u> Print Name of Owner	 Signature of Owner	<u>3/13/2020</u> Date
2)	_____ Print Name of Owner	_____ Signature of Owner	_____ Date
3)	_____ Print Name of Owner	_____ Signature of Owner	_____ Date
4)	_____ Print Name of Owner	_____ Signature of Owner	_____ Date
	<u>185 S. STATE STREET SUITE 800</u> <u>SALT LAKE CITY, UT. 84111</u> Owner's Mailing Address	<u>lance.dunkley@maverik.com</u> Owner's Email	<u>702 370 6962</u> Owner's Phone #

The Community Development Department operates on a full cost recovery for processing of permits. Staff will charge their time and any expenses associated with processing the application against the initial deposit. Fees that have been captured for the reimbursement of City expenses are non-refundable.

Technology cost recovery fees are non-refundable

FINDINGS

VARIANCE 20-01: MAVERIK SIGNAGE

350 Oro Dam Boulevard E

(APNs: 035-030-003; portions of 035-030-001, -002, & 028)

A. INTRODUCTION

The project applicant, Maverik, Inc. has applied for a variance of the City’s sign regulations as found in Section 17-20 of the Oroville Municipal Code (OMC). The variance requested is to exceed the maximum allowable total sign area by approximately 472 square feet and height by 25 feet. Per the OMC Section 17-20.070, the maximum allowable sign area for freestanding signs is 100 sq. ft per side for properties with over 400 ft of street frontage. The maximum height for freestanding signs is 40 ft. Increased height, up to a maximum of 60 feet, may be permitted in order to provide motorists with direct vision of the sign from a distance of 1/4 mile from a freeway exit ramp.

B. GENERAL RULE EXEMPTION

This action has been determined to be exempt from the California Environmental Quality Act (CEQA) review pursuant to Title 14, California Code of Regulations, Section 15061(b)(3), commonly known as the “general rule.” A project is Exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects, which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. It has been determined that there is no possibility that the variance request will have a significant effect on the environment. Thus, this action is exempt from CEQA.

C. VARIANCE

The Planning Commission shall grant a variance only upon finding all of the following, based on substantial evidence:

- a. The granting of the variance is not inconsistent with the General Plan or any applicable specific plan.

Per the City’s 2030 General Plan, Goal OPS-5, Policy 5.2, it is the intent of the City of Oroville to limit freeway-oriented signs to maintain and enhance the quality of Oroville’s scenic and visual resources. The policy requires combining freeway signs listing available accommodations and services, and only allow small identity signs on buildings adjoining the freeway. This is the only reference to freeway-oriented signs in the General Plan, which is directed towards signs on scenic highway routes that informs motorists of available accommodations and services in Oroville. Since the signage in question does not fall under this policy,

and the portion of Highway 162 where the subject property is located is not a scenic highway but rather the main commercial corridor of the City, the granting of this variance is not inconsistent with the General Plan. There are no specific plans overlaying this property.

- b. There are exceptional and extraordinary circumstances or conditions applying to the land, building or use referred to in the application that do not generally apply to other land, buildings or uses in the same district.

Section 17-40.080 specifies that the sole purpose of a variance shall be to prevent discrimination and undue hardship, and no variance shall be granted that would provide a special privilege not shared by other property in the same vicinity.

Exceed Maximum Sign Area of a Freestanding Sign

City Code Section 17-20.070(D) specifies that the maximum freestanding sign area is based on the total linear street frontage of the front side of the site, with street frontages of 400+ lineal feet permitted to have a maximum of 100 square feet of sign area per side. The project site has an approximate street frontage of 429 lineal feet. The applicant is proposing a double-sided freestanding sign with 572 square feet per side, 472 square feet above the maximum allowable permitted per side.

As currently drafted, the Sign Code does not provide exceptions or special provisions for properties that are adequately sized to support development but might be disproportionately restricted in their freestanding sign face allowance due to a narrow street frontage and long depth. Thus, it is believed that the strict and literal enforcement of the provisions of the Zoning Code would result in unreasonable and unnecessary hardships for the applicant.

Exceed Maximum Height of a Freestanding Sign

Per Section 17-20.070 of the OMC, the maximum height of a freestanding freeway-oriented sign shall be 40 feet. Increased height, up to a maximum of 60 feet, may be permitted in order to provide motorists with direct vision of the sign from a distance of 1/4 mile from a freeway exit ramp. The need for this increased height shall be demonstrated by means of a balloon test or other method approved by the Zoning Administrator. The maximum permitted height shall be specified in the sign permit. The applicant is proposing a freestanding sign 85 feet in height.

On May 21, 2012, the Planning Commission approved Variance No. 12-02 allowing McDonalds, located at 445 Oro Dam Boulevard (APN: 035-030-051), and approximately 200 feet away from the project site to the southeast, to construct an 85 foot tall freestanding sign. The approving resolution (Resolution No. P2012-11) specifies the principal reason for why the applicant requested the variance was that the existing pole sign was visually restricted by surrounding vegetation which prevented freeway visibility. A visibility test was conducted which demonstrated that

vegetation and elevation shift in the terrain also was a factor in the lack of visibility of the sign.

Grounds for the approval, as specified in Resolution No. P2012-11, include, but are not limited to, the following:

- the increased 25 feet in height will allow the sign to be more visible from the freeway
- the proposed project will benefit the residents of the City of Oroville by boosting the local economy by attracting more people into the City through advertising
- the economic benefit of this application will serve the greater good of the City of Oroville
- granting the proposed variance would not grant a special privilege to the applicant that is not currently enjoyed by surrounding property owners

The applicant for this project (VAR 20-01) is requesting the variance for the purpose of obtaining visibility to drivers on California State Route 70, their main target audience for the freestanding sign. The northbound visibility is obstructed by the existing landscaping and vegetation. Southbound visibility is partially obstructed by the landscaping and shift in terrain. The reasoning behind why the variance in sign height now being requested is the same as that of McDonalds and Starbucks/Panda Express, with the requested 85-foot height equivalent to other existing freestanding signs. Thus, approval of this variance would not grant a special privilege not shared by other property in the same vicinity.

c. The granting of the variance will not grant a special privilege to the property.

Please reference Finding b) above.

d. The variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same vicinity and zoning district, and that would otherwise be denied to the property in question.

Please reference item (b) above.

e. The granting of the variance will not be materially detrimental to the public welfare.

The visibility test for the McDonalds sign demonstrated that the maximum 60 foot height restriction limited motorists on Highway 70 from viewing the sign at a distance that would provide for a safe exit onto Oro Dam Blvd. The 85 foot sign height allowed motorists to see the sign from a sufficient distance that would allow for a safe exit onto Oro Dam Blvd without the need to make an abrupt decision and potentially unsafe exit off the Highway.

Maverik performed similar tests on their proposed sign with identical conclusions. With the proposed Maverik development approximately 200 feet away from McDonalds and with a comparable elevation, the same safety element has been considered for this variance.

Additionally, the sign height and proposed sign areas will allow greater visibility from both State Route 70 and 162 which will benefit the local economy by attracting more people into the City through advertising which will capture retail sales tax dollars that may have otherwise not come into Oroville. There is no evidence in the record to demonstrate that the variance will be materially detrimental to the public welfare.

- f. The granting of the variance will not be injurious to, or incompatible with, any nearby property or improvements.

The variance being requested is to exceed the maximum total area allowed for all signs, to exceed the maximum sign area of a freestanding sign and to exceed the maximum height of a freestanding sign. The project site, zoned C-2, is directly adjacent to other C-2 zoned properties. The adjacent properties are developed as follows:

- *Undeveloped property to the North*
- *Arco Am/Pm to the east,*
- *Feather River Crossings Shopping Center to the south*
- *Highway 70 to the west*

This sign should complement the others and add to the number of vehicles exiting the offramp. The signage will not obstruct existing signs on nearby property, and the subject property is adjacent to Oro Dam Boulevard which is identified as the City's main commercial corridor in the 2030 General Plan. The subject property is located near other properties with existing 80 to 85 foot tall freestanding signs and surrounded by other identically or similarly zoned parcels on the commercial corridor. Other signs in the vicinity are also large, though it is not known whether any exceed the size limitations. The construction of the Maverik signs will be required to comply with all applicable requirements, including engineering, building, and zoning code requirements, other than the development standard variance expressly granted by the approval of this variance request. Thus, there is no known reason to believe that the variance will be injurious to, or incompatible with, any nearby property or improvements

RESOLUTION NO. 2020-03

A RESOLUTION OF THE OROVILLE CITY PLANNING COMMISSION MAKING FINDINGS AND CONDITIONALLY APPROVING VARIANCE # 20-01 TO ALLOW MAVERIK, INC. TO CONSTRUCT AN 85-FOOT-TALL, 572 SQUARE-FOOT SIGN AT 350 ORO DAM BOULEVARD

WHEREAS, the City of Oroville has received an application requesting variance from the City’s sign regulations as found in Section 17.20 of the Oroville Municipal Code (OMC) to exceed the maximum sign area of a freestanding sign and to exceed maximum height and area of a freestanding sign; and

WHEREAS, the subject property has a zoning of Intensive Commercial (C-2); and

WHEREAS, per the OMC Section 17-48.080, the Planning Commission shall grant a variance only upon finding all the following, based on circumstantial evidence:

- a. The granting of the variance is not inconsistent with the General Plan or any applicable specific plan.

Per the City’s 2030 General Plan, Goal OPS-5, Policy 5.2, it is the intent of the City of Oroville to limit freeway-oriented signs to maintain and enhance the quality of Oroville’s scenic and visual resources. The policy requires combining freeway signs listing available accommodations and services, and only allow small identity signs on buildings adjoining the freeway. This is the only reference to freeway-oriented signs in the General Plan, which is directed towards signs on scenic highway routes that informs motorists of available accommodations and services in Oroville. Since the signage in question does not fall under this policy, and the portion of Highway 162 where the subject property is located is not a scenic highway but rather the main commercial corridor of the City, the granting of this variance is not inconsistent with the General Plan. There are no specific plans overlaying this property.

- b. There are exceptional and extraordinary circumstances or conditions applying to the land, building or use referred to in the application that do not generally apply to other land, buildings or uses in the same district.

Section 17-40.080 specifies that the sole purpose of a variance shall be to prevent discrimination and undue hardship, and no variance shall be granted that would provide a special privilege not shared by other property in the same vicinity.

Exceed Maximum Sign Area of a Freestanding Sign

City Code Section 17-20.070(D) specifies that the maximum freestanding sign area is based on the total linear street frontage of the front side of the site, with street frontages of 400+ lineal feet permitted to have a maximum of 100 square feet of sign area per side. The project site has an approximate street frontage of 429 lineal feet. The applicant is proposing a double-sided freestanding sign with 572 square feet per side, 472 square feet above the maximum allowable permitted per side.

As currently drafted, the Sign Code does not provide exceptions or special provisions for properties that are adequately sized to support development but might be disproportionately restricted in their freestanding sign face allowance due to a narrow street frontage and long depth. Thus, it is believed that the strict and literal enforcement of the provisions of the Zoning Code would result in unreasonable and unnecessary hardships for the applicant.

Exceed Maximum Height of a Freestanding Sign

Per Section 17-20.070 of the OMC, the maximum height of a freestanding freeway-oriented sign shall be 40 feet. Increased height, up to a maximum of 60 feet, may be permitted in order to provide motorists with direct vision of the sign from a distance of 1/4 mile from a freeway exit ramp. The need for this increased height shall be demonstrated by means of a balloon test or other method approved by the Zoning Administrator. The maximum permitted height shall be specified in the sign permit. The applicant is proposing a freestanding sign 85 feet in height.

On May 21, 2012, the Planning Commission approved Variance No. 12-02 allowing McDonalds, located at 445 Oro Dam Boulevard (APN: 035-030-051), and approximately 200 feet away from the project site to the southeast, to construct an 85 foot tall freestanding sign. The approving resolution (Resolution No. P2012-11) specifies the principal reason for why the applicant requested the variance was that the existing pole sign was visually restricted by surrounding vegetation which prevented freeway visibility. A visibility test was conducted which demonstrated that vegetation and elevation shift in the terrain also was a factor in the lack of visibility of the sign.

Grounds for the approval, as specified in Resolution No. P2012-11, include, but are not limited to, the following:

- the increased 25 feet in height will allow the sign to be more visible from the freeway*
- the proposed project will benefit the residents of the City of Oroville by boosting the local economy by attracting more people into the City through advertising*
- the economic benefit of this application will serve the greater good of the City of Oroville*
- granting the proposed variance would not grant a special privilege to the applicant that is not currently enjoyed by surrounding property owners*

The applicant for this project (VAR 20-01) is requesting the variance for the purpose of obtaining visibility to drivers on California State Route 70, their main target audience for the freestanding sign. The northbound visibility is obstructed by the existing landscaping and vegetation. Southbound visibility is partially obstructed by the landscaping and shift in terrain. The reasoning behind why the variance in sign height now being requested is the same as that of McDonalds and Starbucks/Panda Express, with the requested 85-foot height equivalent to other existing freestanding signs. Thus, approval of this variance would not grant a special privilege not shared by other property in the same vicinity.

- c. The granting of the variance will not grant a special privilege to the property.

Please reference Finding b) above.

- d. The variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same vicinity and zoning district, and that would otherwise be denied to the property in question.

Please reference item (b) above.

- e. The granting of the variance will not be materially detrimental to the public welfare.

The visibility test for the McDonalds sign demonstrated that the maximum 60 foot height restriction limited motorists on Highway 70 from viewing the sign at a distance that would provide for a safe exit onto Oro Dam Blvd. The 85 foot sign height allowed motorists to see the sign from a sufficient distance that would allow for a safe exit onto Oro Dam Blvd without the need to make an abrupt decision and potentially unsafe exit off the Highway.

Maverik performed similar tests on their proposed sign with identical conclusions. With the proposed Maverik development approximately 200 feet away from McDonalds and with a comparable elevation, the same safety element has been considered for this variance.

Additionally, the sign height and proposed sign areas will allow greater visibility from both State Route 70 and 162 which will benefit the local economy by attracting more people into the City through advertising which will capture retail sales tax dollars that may have otherwise not come into Oroville. There is no evidence in the record to demonstrate that the variance will be materially detrimental to the public welfare.

- f. The granting of the variance will not be injurious to, or incompatible with, any nearby property or improvements.

The variance being requested is to exceed the maximum total area allowed for all signs, to exceed the maximum sign area of a freestanding sign and to exceed the maximum height of a freestanding sign. The project site, zoned C-2, is directly adjacent to other C-2 zoned properties. The adjacent properties are developed as follows:

- *Undeveloped property to the North*
- *Arco Am/Pm to the east,*
- *Feather River Crossings Shopping Center to the south*
- *Highway 70 to the west*

This sign should complement the others and add to the number of vehicles exiting the offramp. The signage will not obstruct existing signs on nearby property, and the subject property is adjacent to Oro Dam Boulevard which is identified as the City's main commercial corridor in the 2030 General Plan. The subject property is located near other properties with existing 80 to 85 foot tall freestanding signs and surrounded by other identically or similarly

zoned parcels on the commercial corridor. Other signs in the vicinity are also large, though it is not known whether any exceed the size limitations. The construction of the Maverik signs will be required to comply with all applicable requirements, including engineering, building, and zoning code requirements, other than the development standard variance expressly granted by the approval of this variance request. Thus, there is no known reason to believe that the variance will be injurious to, or incompatible with, any nearby property or improvements

WHEREAS, at a duly noticed public hearing, the Planning Commission considered the comments and concerns of public agencies, property owners, and members of the public who are potentially affected by the approval of the use permit described herein, and also considered the City’s staff report regarding the use.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION as follows:

1. This action has been determined to be exempt from the California Environmental Quality Act (CEQA) review pursuant to Title 14, California Code of Regulations, Section 15332 “In-Fill Development Projects,” and Section 15061(b)(3) “General Rule Exemption.”
2. The Planning Commission approves the findings required by Section 17.48.080 of the Oroville City Code, as those findings are described in this Resolution.
3. The approved variance to the City’s sign regulations are as follows:
 - Applicant may install an 85 foot tall freestanding sign
 - Applicant may install a 572 square foot double sided freestanding sign.
4. The project applicant agrees to comply with all City sign regulations as found in Section 17-20 of the OMC, except as otherwise granted by this variance.
5. The following conditions of approval have been deemed necessary to achieve the purpose of the Zoning Code and to promote the general health, safety and public welfare of the City.

CONDITIONS OF APPROVAL

Approved project: The project applicant, Maverik, Inc. has applied for a variance to the City’s Sign Code, as found in Section 17-20 of the Oroville Municipal Code to exceed the maximum sign area of a freestanding sign and to exceed the maximum height of a freestanding sign for the development of a new gas station and convenience store at 350 Oro Dam Boulevard. The subject property has a zoning designation of Intensive Commercial (C-2). The Planning Commission hereby approves VAR 20-01, subject to the following:

1. The project shall remain in substantial conformance with the Conditions of Approval, as adopted by the Oroville Planning Commission. Any subsequent minor changes in the project (as determined by the Zoning Administrator) may only occur subject to appropriate City review and approval. Any subsequent substantive changes in the project (as determined by the Zoning Administrator) may only occur subject to discretionary review by the Oroville Planning Commission
2. Unless otherwise specified in this variance (VAR 20-01; Resolution No. P2020-03), this project shall fully comply with all City sign regulations as found in the Oroville Municipal Code Section 17-20.
3. The applicant shall ascertain and comply with the requirements of all California Department of Transportation standards, as well as all other applicable local, state and federal requirements that may be applicable to the proposed project
4. Applicant hereby certifies that any and all statements and information provided as part of the application are true and correct to the best of their knowledge and belief. Any misinformation provided, whether intentional or unintentional, that was considered in the issuance of this variance may be grounds for revocation.
5. The applicant shall hold harmless the City, its Council members, Planning Commissioners, officers, agents, employees, and representatives from liability for any award, damages, costs, and/or fees incurred by the City and/or awarded to any plaintiff in an action challenging the validity of this variance or any environmental or other documentation related to approval of this variance. Applicant further agrees to provide a defense for the City in any such action.

--- End of Conditions ---

I HEREBY CERTIFY that the foregoing resolution was duly introduced and passed at a regular meeting of the Planning Commission of the City of Oroville held on the 26th of March 2020, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

ATTEST:

APPROVE:

JACKIE GLOVER, ASSISTANT CITY CLERK

CARL DURLING, CHAIRPERSON



City of Oroville

COMMUNITY DEVELOPMENT DEPARTMENT

Leonardo DePaola
DIRECTOR

1735 Montgomery Street
Oroville, CA 95965-4897
(530) 538-2430 FAX (530) 538-2426
www.cityoforoville.org

NOTICE OF EXEMPTION

TO: Butte County Clerk
25 County Center Drive
Oroville, CA 95965

FROM: City of Oroville
1735 Montgomery Street
Oroville, CA 95965

Project Title: VAR 20-01 Maverik Gas Station Sign Height and Size Variance

Project Location – Specific: 350 Oroville Dam Boulevard

Project Location - City: City of Oroville

Project Location – County: Butte

Description of Nature, Purpose, and beneficiaries of project: This project is for a variance for an 85-foot high 572 square-foot freestanding sign. The project applicant, Maverik, Inc., has an approved Use Permit 20-01 for alcohol sales, and is permitted by right for a new gas station and convenience store, which involves demolition of an existing building and construction of a new 6,000 square foot store, 10 gasoline pumps, four high-flow pumps, and associated site improvements.. The subject property has a zoning designation of Intensive Commercial (C-2) and a General Plan land use designation of Retail and Business Services (RBS).

Name of Public Agency Approving Project: City of Oroville

Name of Person or Agency Carrying Out Project: Maverik, Inc.

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1); 15268)
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption: State type & section number:
 - General Rule Exemption; Title 14, CCR, §15061(b)(3)
 - In-Fill Development Projects; Title 14, CCR, §15332
- Statutory Exemption: State code number:

Reasons why project is exempt: This action has been determined to be exempt from the California Environmental Quality Act (CEQA) review as follows:

General Rule Exemption; Title 14, CCR, §15061(b)(3)

A project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects, which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. It has been determined that there is no possibility that the project will have a significant effect on the environment. Thus, this action is exempt from CEQA.

In-Fill Development Projects; Title 14, CCR, §15332

Class 32 categorical exemptions consists of projects characterized as in-fill development meeting specific conditions a-e as described in this section. This project meets all conditions, including being consistent with the General Plan and Zoning Designation, occurs within City limits, has no value as habitat, will not result in any significant effects, and can be adequately served by all required utilities. The project is consistent with the existing

C-2 Zoning as a permitted use.

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

Lead Agency Contact Person: Wes Ervin

Telephone: (530) 538-2408

Signature: _____

Date: _____

- Signed by Lead Agency
- Signed by Applicant



City of Oroville

Leonardo DePaola
Community Development Director

COMMUNITY DEVELOPMENT DEPARTMENT

1735 Montgomery Street
Oroville, CA 95965-4897
(530) 538-2436 FAX (530) 538-2426
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PLANNING COMMISSION STAFF REPORT

Thursday, March 26, 2020

RE: Tentative Parcel Map 20-01

SUMMARY: The Oroville Planning Commission will conduct a public hearing and consider approving Tentative Parcel Map 20-01 (TPM 20-01) for lot line adjustments to facilitate the Maverik gas station and convenience store project at 350 Oroville Dam Boulevard. This location is at the northwest corner the intersection with Feather River Boulevard. The map will split one lot into two lots

RECOMMENDATION: Staff recommends the following actions:

1. **Conduct** Public hearing
2. **Approve** the recommended findings for Tentative Parcel Map 20-01 and recommended Conditions of Approval;
3. **Adopt** Resolution No. P2020-05

APPLICANTS: Maverik, Inc.

LOCATION: 350 Oroville Dam Boulevard, Oroville, California
Northwest corner of Oroville Dam Blvd and Feather River Blvd.

GENERAL PLAN: RBS (Retail & Business Services)
ZONING: C-2 (Intensive Commercial)
FLOOD ZONE: Zone X

ENVIRONMENTAL DETERMINATION: The project is Categorically Exempt from the California Environmental Quality Act (CEQA) review pursuant to Title 14, Division 6, Chapter 3 of the California Code of Regulations, Article 19 Categorical Exemptions, Section 15315 "MINOR LAND DIVISIONS".

REPORT PREPARED BY:

Wes Ervin, Senior Planner
Community Development Department

REVIEWED BY:

Leonardo DePaola, Director
Community Development Director

A. DISCUSSION

The Planning Commission will conduct a public hearing to consider approving Tentative Parcel Map 20-01 to separate a 4.8-acre lot into two parcels.

The request is to separate an existing 4.75-acre parcel into two separate parcels. Parcel 1 will be for the Maverik development This parcel will be 2.8 acres. Parcel 2 will be for future development and be 1.95 acres. An earlier Lot Line adjustment, which has been previously recorded, created the 4.8 acre parcel among others. This is the only parcel affected by the Map 20-01

Access to Oro Dam Blvd and to Feather River Blvd will be limited to one driveway on each roadway. The driveways will be on the frontages of Parcel 1, the Maverick project. Parcel 2 will have legal access to the driveways via an access easement to its benefit over Parcel 1.

At its February 27, 2020 meeting the Planning Commission approved Use Permit #20-01 for Maverick, Inc to operate a fueling station and convenience market with alcohol sales.

All required conditions and considerations per OMC 16.12.050 “Tentative Parcel Map” apply to this requested tentative parcel map.

Prior to filing the Final Parcel Map, all public improvements required by OMC 16 “Subdivisions” shall be completed and accepted by the City.

B. RECOMMENDATION

Staff recommends the Planning Commission review and approve Tentative Parcel Map 20-01 350 Oro Dam Blvd along with all the findings and conditions pertaining thereto.

C. ENVIRONMENTAL DETERMINATION

This action has been determined to be Categorically Exempt from the California Environmental Quality Act (CEQA) review pursuant to Title 14, Division 6, Chapter 3 of the California Code of Regulations, Article 19 Categorical Exemptions, Section 15315 “MINOR LAND DIVISIONS”

D. FINDINGS

Staff has determined that the following findings can be accurately and truthfully made;

1. The requested tentative parcel map is in conformance with the General Plan and the City’s zoning ordinance,
2. The requested parcel map seeks no variances or exceptions,

- 3. All services and access to the proposed parcels are available and meet City standards,
- 4. The parcel was not involved in the division of a larger parcel anytime in the last two years, and
- 5. The parcel does not have an average slope greater than 20 percent.

E. FISCAL IMPACT

The total fees associated with this project are as follows:

Item	Price	Tech Fee	Total	Paid
Tentative Parcel Map	\$3,500.34	\$210.02	\$3,710.36	Yes
Total	\$3,500.34	\$210.02	\$3,710.36	Yes

Pursuant to Public Resources Code Section 21089, and as defined by the Fish and Wildlife Code Section 711.4, fees (\$50) are payable by the project applicant to file the Notice of Exemption with Butte County by the City of Oroville – Community Development Department within five working days of approval of this project. These fees will be paid for through the funds deposited.

PUBLIC NOTICE

A request for comments was prepared and circulated to the surrounding property owners within 300 feet of the property. Additionally, the meeting date, time, and project description were published in the Oroville Mercury Register and posted at City Hall more than 10 days in advance of the meeting.

ATTACHMENTS

- 1. TPM 20-01 Proposed Map
- 2. Resolution No. 2020-05
- 3. Notice of Exemption (CEQA)

RESOLUTION NO. 2020-05

A RESOLUTION OF THE OROVILLE CITY PLANNING COMMISSION MAKING FINDINGS AND CONDITIONALLY APPROVING TENTATIVE PARCEL MAP NO. 20- 01 PERMITTING A TENTATIVE PARCEL MAP.

WHEREAS, the City of Oroville staff recommends a tentative parcel map; and

WHEREAS, the tentative parcel map to separate the existing 4.75-acre parcel into two separate parcels to create an individual lot for the Maverik development and a second for future development. Parcel 1 will be 2.8 acres and be developed by Maverik. Parcel 2 will be 1.95 acres and remain vacant at this time.

WHEREAS, the following conditions of approval shall be incorporated into the final map;

WHEREAS, at a duly noticed public hearing, the Planning Commission considered the comments and concerns of public agencies, property owners, and members of the public who are potentially affected by the approval of the tentative parcel map described herein, and also considered the City’s staff report regarding the change.

WHEREAS, the requested tentative parcel map is in conformance with the General Plan and the City’s zoning ordinance,

WHEREAS, the requested parcel map seeks no variances or exceptions,

WHEREAS, all services and access to the proposed parcels are available and meet City standards,

WHEREAS, the parcel was not involved in the division of a larger parcel anytime in the last two years, and

WHEREAS, the parcel does not have an average slope greater than 20 percent.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION as follows:

1. This action has been determined to be Categorical Exempt from the California Environmental Quality Act (CEQA) review pursuant to Title 14, Division 6, Chapter 3 of the California Code of Regulations, Article 19 Categorical Exemptions, Section 15315 “MINOR LAND DIVISIONS”
2. The Planning Commission approves the findings provided for the tentative parcel map to separate the existing 4.75-acre parcel into two separate parcels to create an individual lot for the Maverik development and a second for future

development. Parcel 1 will be 2.8 acres and be developed by Maverik. Parcel 2 will be 1.95 acres and remain vacant at this time.

CONDITIONS OF APPROVAL

1. These conditions of approval are to permit the land division of Tentative Parcel Map No. 20-01 (TPM 20-01) as generally described above.
2. This Tentative Parcel Map conditional approval shall become null and void unless all conditions have been complied with for recordation of the Final Parcel Map within twenty-four (24) months after the approval of said Tentative Parcel Map. Where circumstances beyond the control of the applicant cause delays, which do not permit compliance with the time limitation referenced herein, the Planning Commission may grant an extension of time for an additional period of time not to exceed an additional twelve (12) months. Applications for such extension of time must set forth in writing the reasons for the extension and shall be filed together with a fee, as established by the City Council, thirty (30) calendar days before the expiration of the Tentative Parcel Map. The applicant will be responsible for initiating any extension request.
3. The Planning Commission approval date of this Tentative Parcel Map No. 20-01 referenced below. All determinations of whether the land division is eligible for an extension of time shall be based on this original approval date.
4. The applicant shall dedicate a 10-foot wide Public Utility Easement along all lots abutting streets to the parcels.
6. All easements of record on and immediately adjacent to the property being subdivided -- and all easements created by approval of this subdivision -- must be noted on the Final Map and shown on site plans and improvement plans.
7. The applicant shall ascertain and comply with the State of California Subdivision Map Act and with all requirements of the Oroville Municipal Code, and with all other applicable County, State and Federal requirements.
8. The applicant shall hold harmless the City, its Council members, Planning Commissioners, officers, agents, employees, and representatives from liability for any award, damages, costs, and/or fees incurred by the City and/or awarded to any plaintiff in an action challenging the validity of this action or any environmental or other documentation related to the approval of this tentative parcel map. Applicant further agrees to provide a defense for the City in any such action
9. The project shall remain in substantial conformance with the Conditions of Approval, as adopted by the Oroville Planning Commission. Any subsequent minor changes in the project (as determined by the Zoning Administrator) may only occur subject to appropriate City review and approval. Any subsequent substantive changes in the project (as determined by the Zoning Administrator) may only occur subject to discretionary review by the Oroville Planning Commission.

10. This map shall run with the land and be binding upon all successors in interest to the maximum extent permitted by law.
11. Pursuant to Section 17.12.010, the proposed use of the site shall conform to the performance standards of the code of the City of Oroville to minimize any negative impacts that the use may have on the surrounding properties.
12. All private facilities, improvements, infrastructure, systems, equipment, common areas, landscaping, irrigations systems, etc. shall be operated and maintained by the applicant in such a manner, and with such frequency, to ensure the public health, safety, and general welfare.
13. The Planning Commission's action shall be final unless the subdivider or any other interested person appeals the action to the City Council as provided in Section 16.04.060 of the City's Code.
14. Owner shall provide monumentation in conformance with the requirements of the California Subdivision Map Act (Government Code Section 66410 and following).
15. The location, identification and description of known or found monuments on or adjacent to the site, shall be shown and noted on the Parcel Map.
16. The location, identification and description of known or found monuments on or adjacent to the site, shall be shown and noted on any plans for construction on the parcels. Said monuments shall be protected or replaced per State law.
16. All easements of record that affect this property are to be shown on the Parcel Map.
17. Prior to recordation of the Parcel Map, pay in full any and all delinquent, current and estimated taxes and assessments as specified in Article 8 of Chapter 4 of Division 2 of Title 7, of the California Government Code commencing with Section 66492.

--- End of Conditions ---

I HEREBY CERTIFY that the foregoing resolution was duly introduced and passed at a regular meeting of the Planning Commission of the City of Oroville held on the 26th of March 2020, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

ATTEST:

APPROVE:

JACKIE GLOVER, ASSISTANT CITY CLERK

CARL DURLING, CHAIRPERSON



City of Oroville

COMMUNITY DEVELOPMENT DEPARTMENT

Leonardo DePaola
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NOTICE OF EXEMPTION

TO: Butte County Clerk
25 County Center Drive
Oroville, CA 95965

FROM: City of Oroville
1735 Montgomery Street
Oroville, CA 95965

Project Title: TPM 20-01 Tentative Parcel Map for Maverik Gas Station and Convenience Store

Project Location – Specific: 350 Oroville Dam Boulevard

Project Location - City: City of Oroville

Project Location – County: Butte

Description of Nature, Purpose, and beneficiaries of project: This tentative parcel map adjusts parcel lines to accommodate a new gas station and convenience store, which involves demolition of an existing building and construction of a new 6,000 square foot store, 10 gasoline pumps, four high-flow pumps, and associated site improvements.. The subject property has a zoning designation of Intensive Commercial (C-2) and a General Plan land use designation of Retail and Business Services (RBS).

Name of Public Agency Approving Project: City of Oroville

Name of Person or Agency Carrying Out Project: Maverik, Inc.

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1); 15268)
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption: State type & section number:
 - Minor Land Divisions; Title 14, CCR, §15315
- Statutory Exemption: State code number:

Reasons why project is exempt: This action has been determined to be exempt from the California Environmental Quality Act (CEQA) review as follows:

Minor Land Divisions; Title 14, CCR, §15315

Class 15 consists of the division of property in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels when the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent.

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

Lead Agency Contact Person: Wes Ervin

Telephone: (530) 538-2408

Signature: _____

Date: _____

- Signed by Lead Agency
- Signed by Applicant